ACTIVITY DETERMINATION

Project No. BGV9A

Conflict of Interest[1]

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed……..

Name….Emma Nicholson…… Dated….8 March 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979,* I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No	Street or property name
47-49	Curry Street

Suburb, town or locality	Postcode
Wallsend	2287

Local Government Area(s)	Real property description (Lot and DP)
City of Newcastle	Lots 141 and 142 in DP 35087

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of 2 existing dwellings and associated structures, and the construction of a residential flat building containing 4 x 1-bedroom and 5 x 2-bedroom dwellings, with associated landscaping and fencing, surface car parking for 5 cars and consolidation into a single lot.

1. *Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.*

Signed……………………………………… Dated…………… 8 March 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following identified requirements are to ensure that the ***residential*** *activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021*

1. The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned Identified Requirements:

Title / Name:	Drawing No / Document Ref.:	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural Plans				
Cover Sheet	Drawing No. 000	P3	12.04.2022	Sam Crawford Architects
Block Analysis Plan	Drawing No. 101	P3	12.04.2022	
Site Analysis Plan	Drawing No. 102	P3	12.04.2022	
Demolition Plan	Drawing No. 103	P3	12.04.2022	
Development Data	Drawing No. 104	P3	12.04.2022	
Site Plan	Drawing No. 105	01	12.04.2022	
Ground Floor Plan	Drawing No. 106	P3	12.04.2022	
First Floor Plan	Drawing No. 107	P3	12.04.2022	
Roof Plan	Drawing No. 108	P3	12.04.2022	
Liveable Housing Compliance	Drawing No. 109	P3	12.04.2022	
Street Elevations	Drawing No. 201	P3	12.04.2022	
Elevations	Drawing No. 202	P3	12.04.2022	
Sections	Drawing No. 301	P3	12.04.2022	
Shadow Diagrams	Drawing No. 401	P3	12.04.2022	
Solar Access	Drawing No. 402	P3	12.04.2022	
External Finishes and Materials	Drawing No. 501	P3	12.04.2022	
Civils Plans				
Cover Sheet , Locality Plan & Schedule of Drawings	80822047-CI-0001	5	28.11.2022	Cardno (NSW/ACT) Pty Ltd
Civil Construction Notes	80822047-CI-0002	5	28.11.2022	
Stormwater Drainage Plan Ground Floor	80822047-CI-1101	6	28.11.2022	
Cut & Fill Plan	88022047-CI-1102	3	28.11.2022	
Bulk Earthworks Level	88022047-CI-1103	3	28.11.2022	

Title / Name:	Drawing No / Document Ref.:	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Sedimentation & Erosion Control Plan	88022047-CI-1201	6	28.11.2022	
Stormwater Details Sheet 1	80822047-CI-2101	5	28.11.2022	
Stormwater Details Sheet 2	80822047-CI-2102	5	28.11.2022	
Stormwater Details Sheet 3 – OSD Rainwater Tank Details	80822047-CI-2103	5	28.11.2022	
Sedimentation and Erosion Control Details	80822047-CI-2201	5	28.11.2022	
Landscape Plans				
Landscape Extent of Works	Page 3	05	23.06.2022	Place Design Group
Landscape Plan	Page 4	05	23.06.2022	
Fencing Strategy	Page 5	05	23.06.2022	
Landscape Key Plan and Section	Page 6	05	23.06.2022	
Planting Schedule	Page 7	05	23.06.2022	
Material Selection	Page 8	05	23.06.2022	
Typical Landscape Details	Page 9	05	23.06.2022	
Certificates				
BASIX	1277603M_02	-	28.06.2022	Northrop Consulting Engineers Pty Ltd
NatHERS	0007825770	-	28.06.2022	
Reports				
Arborists Stage A Report	-	-	27.10.2021	Hunter Horticultural Services
Traffic Impact Assessment	-	-	13.04.2022	Transport Planning Partnership
Access Review	-	-	28.06.2022	Morris Goding Access Consulting
Design Compliance Assessment	-	-	28.06.2022	BCA Vision
Site Investigation Report	-	-	26.11.2018	STS GeoEnvironmental

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.

3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.

4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.

5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following identified requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the Council for the area, substantially in accordance with the approved concept stormwater drainage plans.

7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.

8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.

9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing(s) and layback(s) shall be provided at the entrance(s) / exit(s) to the property. The crossing(s) and layback(s) shall be constructed in accordance with the Council for the area's standard requirements for residential crossings. Council shall be provided with plans for the crossing(s) and layback(s) together with the payment of any Council inspection fees.

11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback(s) / driveway(s) shall be borne by the Land & Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with the Council's standards.

***Note**: It is recommended that discussions be held with the relevant authorities before construction works commence.*

12. Car parking spaces and driveway(s) shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).

14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:

i. connected to a permanent 240V power supply, and
ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s), as modified by the identified requirements, and maintained for a period of 12 months by the building contractor. The Council for the area shall be consulted in relation to the planting of any street trees.

19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Council and provide a copy to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arborist report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least $10M shall be maintained throughout the demolition / construction works by the building contractor.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON THE SITE

The following identified requirements are to be complied with prior to any work commencing on the site.

Service Authority Clearances

24. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. the local Council for the area, Hunter Water or Sydney Water), confirming service availability prior to work commencing.

Note:
Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

25. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.

26. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.

27. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Stormwater Disposal

28. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/ or the Council for the area's drainage code.

PRIOR TO ANY WORK COMMENCING ON THE SITE

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:
If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Disconnection of Services

30. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.

31. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

32. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of five (5) working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.

33. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.

34. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:
Any buildings constructed before 1987 is assumed to contain asbestos.

Council Notification

35. The Council for the area shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of five (5) working days notification shall be given.

Landfill

36. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.

37. Land fill materials must satisfy the following requirements:

i. Shall be Virgin Excavated Natural Matter (VENM),
ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radio-active matter, and
iii. Shall be free of industrial waste and building debris.

Site Facilities

38. The following facilities shall be installed on the site:

(a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the Council for the area or if this is also not practicable to some other council approved management facility.

(b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.

39. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

Site Safety

40. A sign shall be erected in a prominent position on the site:

(a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
(b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
(c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:
This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

41. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:
Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

42. Building and demolition materials shall not be stored external to the site (i.e. footpath or roadway).

Protection of Trees

43. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arborist report.

Waste Management

44. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The Plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

DURING DEMOLITION / CONSTRUCTION

The following identified requirements are to be complied with whilst works are occurring on the site.

Heritage

45. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974,* respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items or Indigenous items have been uncovered, the Department of Planning and Environment must be contacted.

46. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974,* that it is illegal to disturb, damage or destroy a relic without the prior approval of the Environment and Heritage, Coordinator-General of the Department of Planning and Environment.

Demolition

47. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.

48. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.

49. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.

50. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].

51. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Department of Planning and Environment.

52. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.

53. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.

54. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.

55. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

56. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

57. Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday, with no work permitted on Sundays or public holidays.

Excavation & Backfilling

58. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

59. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former Department of Environment and Climate Change.

60. No fires shall be lit, or waste materials burnt, on the site.

61. No washing of concrete forms or trucks shall occur on the site.

62. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.

63. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.

64. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.

65. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

66. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.

67. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following identified requirements are to be complied with prior to the occupation of the development.

General

68. The occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Termite Protection

69. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

(a) the method of protection,
(b) the date of installation of the system.
(c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
(d) the need to maintain and inspect the system on a regular basis.

Council Infrastructure Damage

70. The cost of repairing any damage caused to the Council for the area's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

71. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes, and
- location and surface levels of all pits, and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits, and
- finished floor levels of all structures, and
- verification that any required trash screens have been installed, and
- locations and levels of any overland flow paths, and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the Council for the area's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and the Council for the area.

PART B – Additional Identified Requirements

Site Specific Requirements

72. Nil requirements.

Requirements Resulting from Council Comments

73. **Engineering Certification** – Certification from a suitably qualified engineer that excavations for the proposed below-ground OSD and rainwater retention tank will not adversely affect building foundations in close proximity (closer than six metres) of the tank.

74. **Street Trees** – Two trees are to be planted within the road reserve at the front of the site. Tree selection is to be undertaken in consultation with the City of Newcastle Council's (CN) City Greening Team.

75. **Public Domain Works** – The following works in connection with the proposed development, within the Curry Street public road reserve, adjacent to the site, to be designed and constructed by the Land & Housing Corporation and at no cost to CN and in accordance with CN's guidelines and design specifications:

a) A new driveway crossing in accordance with CN's Standard Drawing A1300.

b) Construct a new kerb inlet pit in Curry Street in accordance with CN specification A2201.

c) Connect a new kerb inlet pit to existing kerb inlet pit (SW0027973) via approximate 49m of 375mm diameter reinforced concrete pipe at a minimum grade of 1%.

d) Associated road pavement, and kerb and gutter replacement.

e) Removal of redundant driveways and reinstate kerb and gutter.

f) Associated drainage works.

Prior to the commencement of construction, CN will be provided with a copy of plans for the crossing and lay back together. Works are to be certified by the Land & Housing Corporation.

The works are to be completed prior to occupation of the proposed development.

76. **Vehicular Crossing –** to be constructed across the road reserve, in accordance with the following criteria:

a) Constructed in accordance with CN's A1300 – Driveway Crossings Standard Design Details.

b) The driveway crossing, within the road reserve, shall be a maximum of 5.5 metres wide.

c) Letterboxes, landscaping and any other obstructions to visibility should be kept clear of or limited in height to 1.2 metres, in the 2 metres by 2.5 metre splay within the property boundary each side of the driveway entrance.

d) The proposed driveway shall be a minimum of three metres clear of the trunk of any tree within the public reserve, unless otherwise approved by CN's City Greening Team.

e) The proposed driveway shall be a minimum of 750mm clear of the centre of any pole or obstruction within the public reserve and 1 metre clear of any drainage pit.

f) Any redundant existing vehicular crossing is to be removed at no cost to CN. The road reserve and kerb being restored to match the existing infrastructure.

The works are to be completed prior to the occupation of the proposed development.

77. **House Numbering** – The premises are to be identified by the provision of house and street numbers on the building exterior and mailbox, respectively, such that they are clearly visible from the road frontage.

The minimum numeral heights are to be:

a) Exterior of the building = 75mm, and

b) Group mailbox:
- street number = 150mm
- house number = 50mm

House numbering to be in accordance with the following schedule:

ADDRESS SCHEDULE				
Unit/ Dwelling/ Lot Number on plan	Council Allocated Street Addresses			
	House Number	Street Name	Street Type	Suburb
Primary Site Address	47	Curry	Street	Wallsend
Proposed Unit 1	4/47	Curry	Street	Wallsend
Proposed Unit 2	2/47	Curry	Street	Wallsend
Proposed Unit 3	1/47	Curry	Street	Wallsend
Proposed Unit 4	5/47	Curry	Street	Wallsend
Proposed Unit 5	3/47	Curry	Street	Wallsend
Proposed Unit 6	104/47	Curry	Street	Wallsend
Proposed Unit 7	102/47	Curry	Street	Wallsend
Proposed Unit 8	101/47	Curry	Street	Wallsend
Proposed Unit 9	103/47	Curry	Street	Wallsend

78. **Landscape Plans –** to be amended to be consistent with the Architectural Plans and a copy provided to the Land & Housing Corporation.

Requirements as Requested by Public Authorities other than Councils

79. Nil requirements.

Requirements Resulting from Adjoining Occupier Comments

80. **Landscape Plans** – delete 8 x *Elaeocarpus Eumundi* at the eastern boundary. The proposed *Syzgium Australe* at the eastern boundary are to be a minimum 1m in height at the time of planting.

Specific Service / Utility Agency Requirements

81. Nil requirements

ADVISORY NOTES

i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.

ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at *www.1100.com.au* or by dialling 1100.

DETERMINED by the NSW Land and Housing Corporation on:

8 March 2023

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1277603M_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 28 June 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW Government Planning, Industry & Environment

Project summary	
Project name	LAHC Wallsend_Curry St._02
Street address	47 & 49 Curry St Road Wallsend 2287
Local Government Area	Newcastle City Council
Plan type and plan number	deposited DP 35087
Lot no.	141
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	9
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 40	Target 40

Certificate Prepared by
Name / Company Name: Northrop Consulting Engineers Pty Ltd
ABN (if applicable): 81094433100

Description of project

Project address	
Project name	LAHC Wallsend_Curry St._02
Street address	47 & 49 Curry St Road Wallsend 2287
Local Government Area	Newcastle City Council
Plan type and plan number	deposited DP 35087
Lot no.	141
Section no.	-
Project type	
No. of residential flat buildings	1
No. of units in residential flat buildings	9
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m²)	1225.63
Roof area (m²)	449.95
Non-residential floor area (m²)	0.0
Residential car spaces	5
Non-residential car spaces	0

Common area landscape		
Common area lawn (m²)	217.16	
Common area garden (m²)	14.86	
Area of indigenous or low water use species (m²)	0.0	
Assessor details		
Assessor number	20579	
Certificate number	0007825770	
Climate zone	15	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 40	Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building1, 9 dwellings, 2 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	2	64.1	5.2	53.54	0.0
6	2	64.1	5.2	0.0	0.0
2	1	53.5	0.0	30.52	0.0
7	1	53.5	0.0	0.0	0.0
3	2	77.1	7.3	45.88	0.0
8	2	69.9	7.3	0.0	0.0
4	1	52.5	0.0	27.06	0.0
9	1	73.8	0.0	0.0	0.0
5	1	52.5	0.0	7.38	0.0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building1

Common area	Floor area (m²)
Ground floor lobby type (No. 1)	48.33
Hallway/lobby type (No. 1)	48.33

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Building1
   - (a) Dwellings
     - (i) Water
     - (ii) Energy
     - (iii) Thermal Comfort
   - (b) Common areas and central systems/facilities
     - (i) Water
     - (ii) Energy
2. Commitments for multi-dwelling houses
3. Commitments for single dwelling houses
4. Commitments for common areas and central systems/facilities for the development (non-building specific)
   - (i) Water
   - (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✔	✔	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✔	✔
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✔	✔
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✔	✔
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✔	✔
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✔	✔	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✔	
(g) The pool or spa must be located as specified in the table.	✔	✔	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✔	✔	✔

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	6 star	6 star	no	-	-	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
6, 7, 8, 9	central water tank (no. 1)	See central systems	See central systems	no	yes	no	no	no
All other dwellings	central water tank (no. 1)	See central systems	See central systems	yes	yes	no	no	no

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✔	✔	✔
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✔	✔
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✔	✔

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✔	✔
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✔	✔	✔
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		✔	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✔	
(h) The applicant must install in the dwelling:			
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✔	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		✔	✔
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✔	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✔	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
1, 6, 8	gas instantaneous 5 star	no mechanical ventilation (ie. natural)	-	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off
All other dwellings	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual on / timer off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
1, 6, 8	ceiling fans	ceiling fans	-	-	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes
All other dwellings	ceiling fans	ceiling fans	-	-	0 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
6, 7, 8, 9	-	-	-	-	electric cooktop & electric oven	-	yes	-	-	-	yes	no
All other dwellings	-	-	-	-	electric cooktop & electric oven	-	yes	-	-	-	no	yes

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must:	✔	✔	✔
(aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	7.6	14.4
2	9.1	11.6
3	30.8	9.0
4	34.9	11.6
5	49.8	10.8
6	20.0	24.5
7	24.9	31.8
8	34.0	25.0
All other dwellings	50.8	30.8

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✔	✔
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✔	✔	✔
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✔	✔	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✔	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✔	✔
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✔	✔

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✔	✔
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✔	✔
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Ground floor lobby type (No. 1)	no mechanical ventilation	-	light-emitting diode	manual on / manual off	No
Hallway/lobby type (No. 1)	no mechanical ventilation	-	light-emitting diode	manual on / manual off	No

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✔	✔
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✔	✔	✔
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✔	✔	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✔	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✔	✔
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✔	✔

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	5000.0	To collect run-off from at least: - 360.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 232.02 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✔	✔
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✔	✔
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✔	✔	✔

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 2.0 peak kW

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled.)

0007825770 28 Jun 2022
7.2 Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME www.nathers.gov.au
Assessor Amir Girgis
Accreditation No. 20579
Address Curry Street , Wallsend , NSW , 2287
hstar.com.au

ABSA Australian Building Sustainability Association
Assessments completed within the accreditation period are part of the ABSA quality audit system
Accreditation Period 31/03/2022-31/03/2023
Assessor Name Amir Girgis
Assessor Number 20579
Assessor Signature
This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice

AUTHORITY APPROVAL DRAWINGS
PART 5 ACTIVITY, PROPOSED RESIDENTIAL FLAT BUILDING, BGV9A

47-49 CURRY STREET, WALLSEND NSW 2287

LOT 141 DP 35087, LOT 142 DP 35087

FOR LAND & HOUSING CORPORATION (LAHC)

DRAWING LIST

000 COVER PAGE		
000	COVER SHEET	N.T.S.
100 PLANS		
101	BLOCK ANALYSIS PLAN	1:200
102	SITE ANALYSIS PLAN	1:200
103	DEMOLITION PLAN	1:100
104	DEVELOPMENT DATA	1:500
105	SITE PLAN	1:100
106	GROUND FLOOR PLAN	1:100
107	FIRST FLOOR PLAN	1:100
108	ROOF PLAN	1:100
109	LIVABLE HOUSING COMPLIANCE	1:100
200 ELEVATIONS		
201	STREET ELEVATIONS	1:100
202	ELEVATIONS	1:100
300 SECTIONS		
301	SECTIONS	1:100
400 SHADOW DIAGRAMS		
401	SHADOW DIAGRAMS	1:200
402	SOLAR ACCESS	N.T.S.
500 EXTERNAL FINISHES AND MATERIALS		
501	EXT. FINISHES & MATERIALS	N.T.S.

01 LOCATION PLAN (N.T.S.)

02 VIEW FROM CURRY STREET: EXISTING

03 CURRY STREET PERSPECTIVE

CONSULTANTS LIST

ARCHITECT	**Sam Crawford Architects** Unit 4, 30 Wilson Street, Newtown 2042 P 02 9519 6800
PROJECT MANAGER	**Principle Project Management** 96 Glebe Road, The Junction 2291 P 0412 834 831
ACCESS CONSULTANT	**Morris Goding Access Consulting** Suite 106, 56 Bowman Street, Pyrmont 2009 P 02 9692 9322
BCA CONSULTANT	**BCA Vision Pty Ltd** 6a/43a Florence St, Hornsby 2077 P 02 9476 8613
CIVIL ENGINEER	**Cardno** Level 9, 203 Pacific Highway, St Leonards 2065 P 02 9496 7700
LANDSCAPE ARCHITECT	**Place Design Group** 3b/830-832 Elizabeth St, Waterloo 2017 P 02 9290 3300
ELECTRICAL, FIRE, HYDRAULIC, MECHANICAL, STRUCTURAL & SUSTAINABILITY	**Northrop Consulting Engineers** Level 1, 215 Pacific Highway Charlestown NSW P 02 4943 1777
TRAFFIC ENGINEER	**TTPP** 22-24 Atchison St, St Leonards 2065 P 02 8437 7800

Refer to Page 2 for BASIX Pathway Summary

PART 5 ASSESSMENT

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ACN 165 409 567 Nominated Architect Sam Crawford 6498

DESCRIPTION	REV	APP'D	DATE
70% DA FOR LAHC REVIEW	P1	SC	4/02/2022
AM2 SUBMISSION	P2	SC	8/03/2022
AM2 RESUBMISSION	P3	SC	12/04/2022

CLIENT: LAND & HOUSING CORPORATION (LAHC)
PROJECT: CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

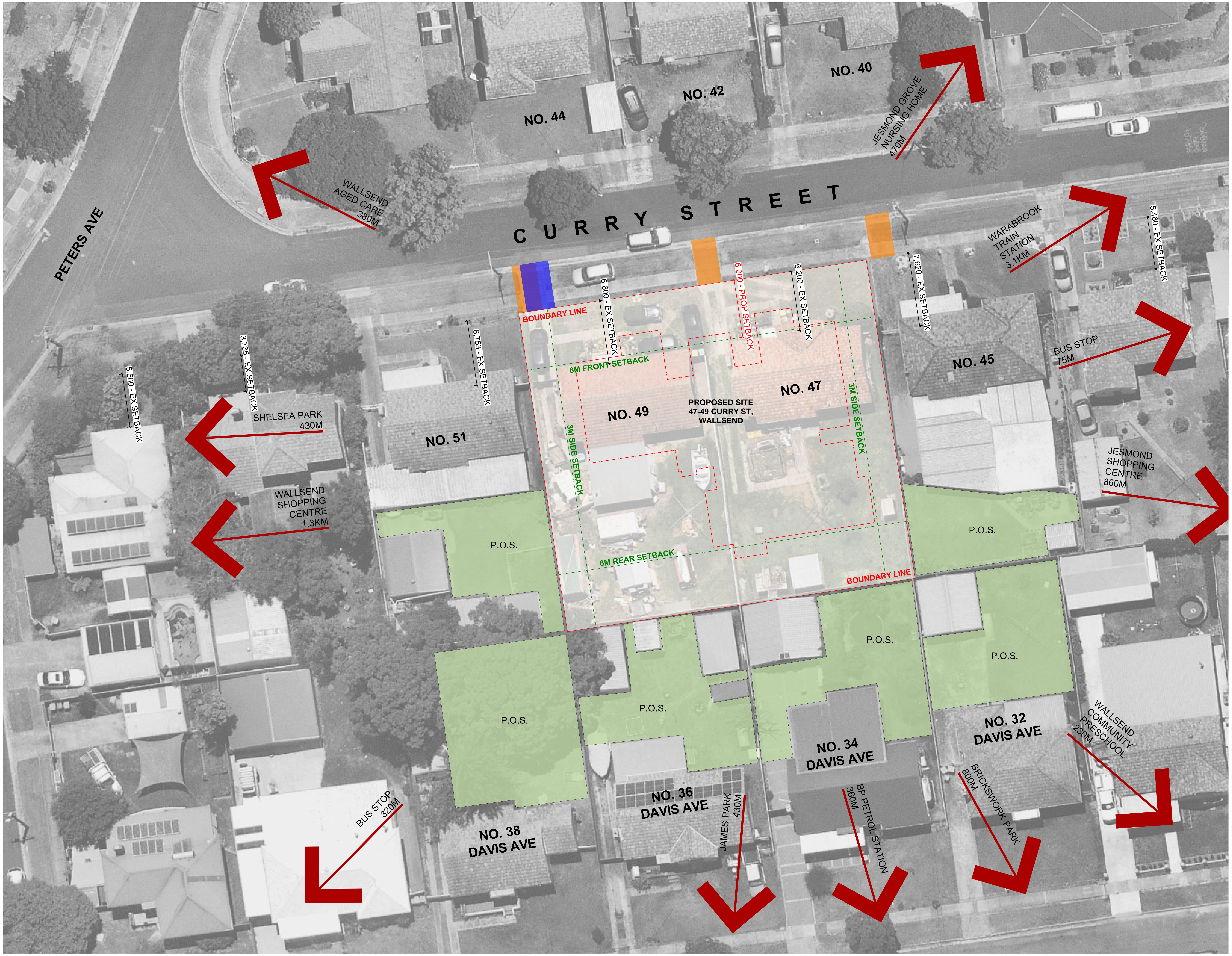
NORTH POINT | SCALE @ A1: N.T.S. | SCALE @ A3: N.T.S. | PROJECT NO. 21.25 | STAGE AA | DRAWING NO. 000 | REV P3

DRAWING TITLE: COVER SHEET

Printed: 6:00 PM, 28/11/2022

DETERMINED by the NSW Land and Housing Corporation on:

8 March 2023



1. BASIX Pathway

The following summary is the final review for the BASIX pathway based on the documents provided for architectural and building services design (AM2 Resubmission, dated 12/04/2022) on 25.05.2022.

1.1 Water Efficiency

Water score required: 40%
Current score: 40%

- Common Facilities:
  - 5000L RW Tank to collect rainwater from at least 360m2 of roof space to supply irrigation to at least 240m2 of common landscape and 135m2 of private landscape.
- Dwellings:
  - Showerheads: 4-star WELS rated (>4.5 but <=6 L/min)
  - Kitchen Taps & Bathroom Taps: 6-star WELS rated
  - Toilets: 4-star WELS rated
  - Clothes Washers: not specified
  - Dishwashers: not specified
  - No on-demand HW reticulation or diversion

1.2 Energy Efficiency

Energy score required: 40%
Current score: 40%

- Common Facilities:
  - Central Solar PV system: 2.0kW peak
  - No Central hot water systems
  - No Central heating / Cooling systems
  - No common area clothes dryers or drying lines.
  - No mechanical ventilation for common lobby for Ground and First Floor.
  - LED lights with manual switch on/off for Common Lobby for Ground and First Floor.
- Dwellings:
  - Gas Instantaneous Hot Water System for individual dwellings
  - Individual fan ducted to roof or façade exhausts for bathroom for units 2,3,4,5,7.9.
  - No Mechanical ventilation (i.e natural ventilation) for bathroom for units 1,6,8.
  - Individual fan ducted to roof or façade exhausts for laundry, and kitchen for all units.
  - All Bathroom, Laundry, Kitchen exhausts are controlled by manual switch on/off.
  - Ceiling Fans provided for Living Room and Bedrooms for all units
  - No Individual Heating systems
  - Dedicated fluorescent or LED fittings for all internal rooms.
  - Electric cooktop and electric oven.
  - Dishwasher: not specified
  - Clothes Washer: not specified
  - Refrigerator and Clothes Dryer not specified.
  - Well Ventilated Fridge Space (as per plans).
  - Private Outdoor Clothing line for Units 1-5.
  - Indoor or sheltered clothes drying line (e.g. screened line on balcony or line over bath) for Units 6-9.

1.3 Thermal Comfort

Score required: Pass Current score: Pass

External Walls	**Ground: Double Brick Cavity, R1.5** bulk insulation, **plasterboard (as per elevations)** **: Stud Wall with Fiber Cement Cladding, R1.5** bulk insulation, **plasterboard** **First Floor: Brick Veneer, R1.5** bulk insulation, **plasterboard (as per elevations)** **: Stud Wall with Fiber Cement Cladding, R1.5** bulk insulation, **plasterboard**
External Wall Solar absorptance	0.5 (grey)
Internal Partitions	Lightweight Construction – Plasterboard Stud Cavity Wall, No Insulation
Party Walls – walls to risers, shafts, neighbours	Lightweight Construction – Plasterboard Stud Cavity Wall, No Insulation Stud, plasterboard
Walls to naturally ventilated corridors	Single Brick – Plasterboard, No Insulation
	Brick, plasterboard
Ceiling to Roof (ceiling to balcony)	Plasterboard, **R3.5** bulk insulation
Roof construction	Corrugated Iron, No Insulation, Skillion roof
Roof Solar absorptance	Solar Absorptance – 0.5 (grey)
Floor construction	Concrete Slab
Suspended Floor constructions	Concrete Slab, Bulk Insulation in Contact with Floor **R2.0**
Floor coverings	Tiles in Dining, study, and living, bedrooms Tiles in wet areas (kitchen, laundry, toilet)
Window system performance	**Awnings, Casement - U-Value of 4.5 and SHGC of 0.50** **Sliding, Fixed, - U-Value of 4.3 and SHGC of 0.53**
Window operability	Window operability according to the plans. Single Pane Awning windows on the ground floor have been modeled to 90% openness. The combination of casement and fixed windows on the ground floor are modelled to 45% openness. Operable windows above 2m off the ground and not next to balconies or winter garden have been modelled to have a 10% openness in the models.
Ceiling Penetrations	Surface mounted LED lights. Weather seals for all exhausts and vents have been assumed in all models.

LEGEND

- EXISTING CROSSOVERS
- PROPOSED CROSSOVERS
- PROPOSED DEVELOPMENT

0007825770 28 Jun 2022
7.2 Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au
Assessor Amir Girgis
Accreditation No. 20579
Address
Curry Street , Wallsend , NSW , 2287
hstar.com.au

ABSA Australian Building Sustainability Association
Assessments completed within the accreditation period are part of the ABSA quality audit system
Accreditation Period 31/03/2022-31/03/2023
Assessor Name Amir Girgis
Assessor Number 20579
Assessor Signature
This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice

Printed: 6:00 PM, 28/11/2022

PART 5 ASSESSMENT

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING	TOW	TOP OF WALL
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD	TOF	TOP OF FENCE
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
DP	DOWNPIPE	GM	GAS METER	O	OVEN	RW	RETAINING WALL
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION	RWT	RAIN WATER TANK
F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

- BOUNDARY
- SETBACKS
- DEMOLITION
- SUBSTATION EASEMENT
- SUBSTATION 3M CLEARANCE
- TREE PROTECTION ZONE
- VEHICULAR SIGHTLINES
- ACCESSIBLE CLEARANCES
- (E) RL EXISTING
- RL RL PROPOSED

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ACN 165 409 567 Nominated Architect Sam Crawford 6498

DESCRIPTION	REV	APP'D	DATE
70% DA FOR LAHC REVIEW	P1	SC	4/02/2022
AM2 SUBMISSION	P2	SC	8/03/2022
AM2 RESUBMISSION	P3	SC	12/04/2022

CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

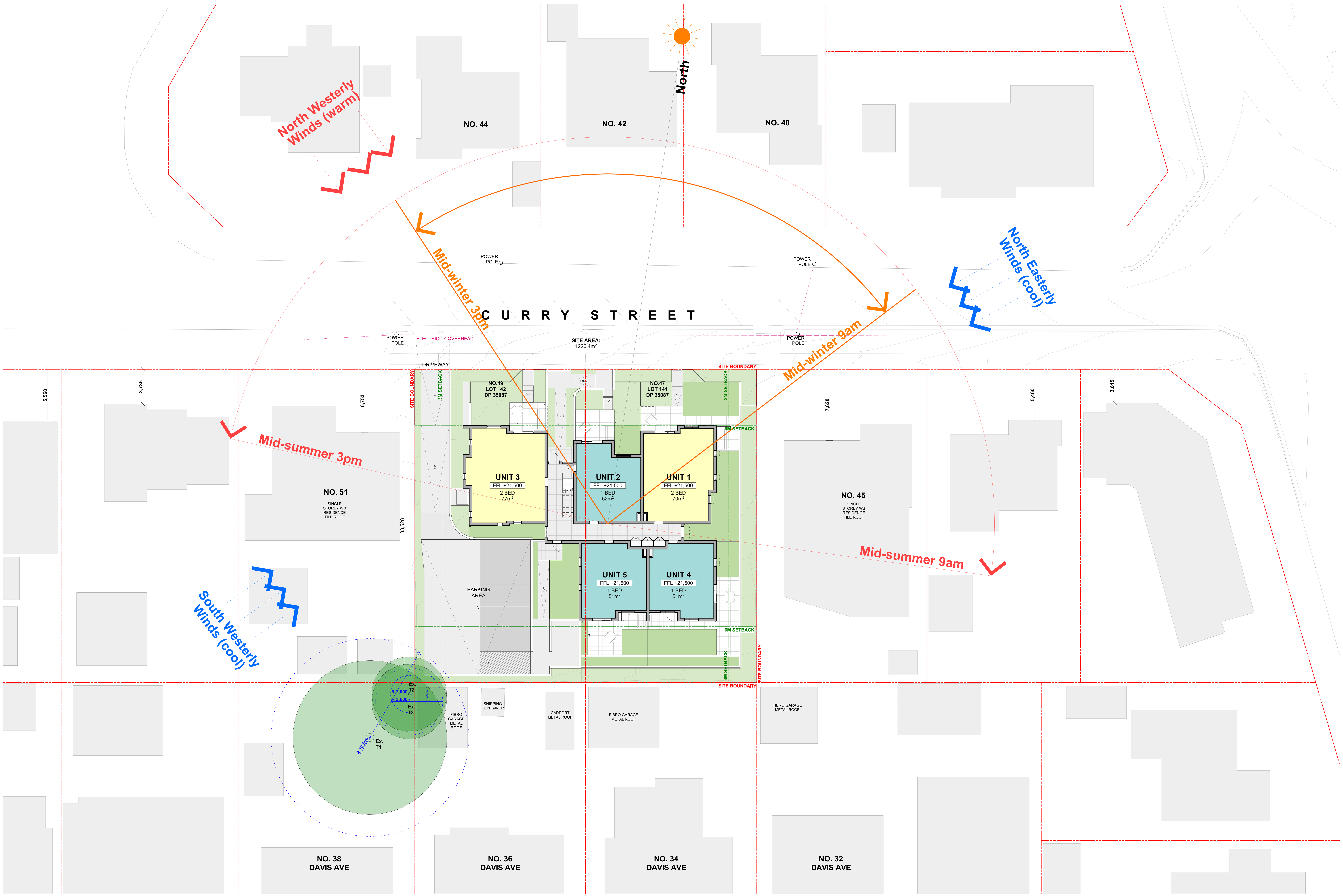
NORTH POINT

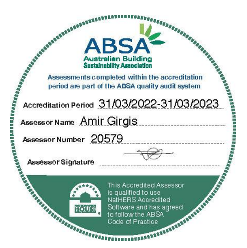
SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:200	21.25	AA	101	P3

SCALE @ A3
1:400

DRAWING TITLE
BLOCK ANALYSIS PLAN

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023





PART 5 ASSESSMENT

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NORTH POINT

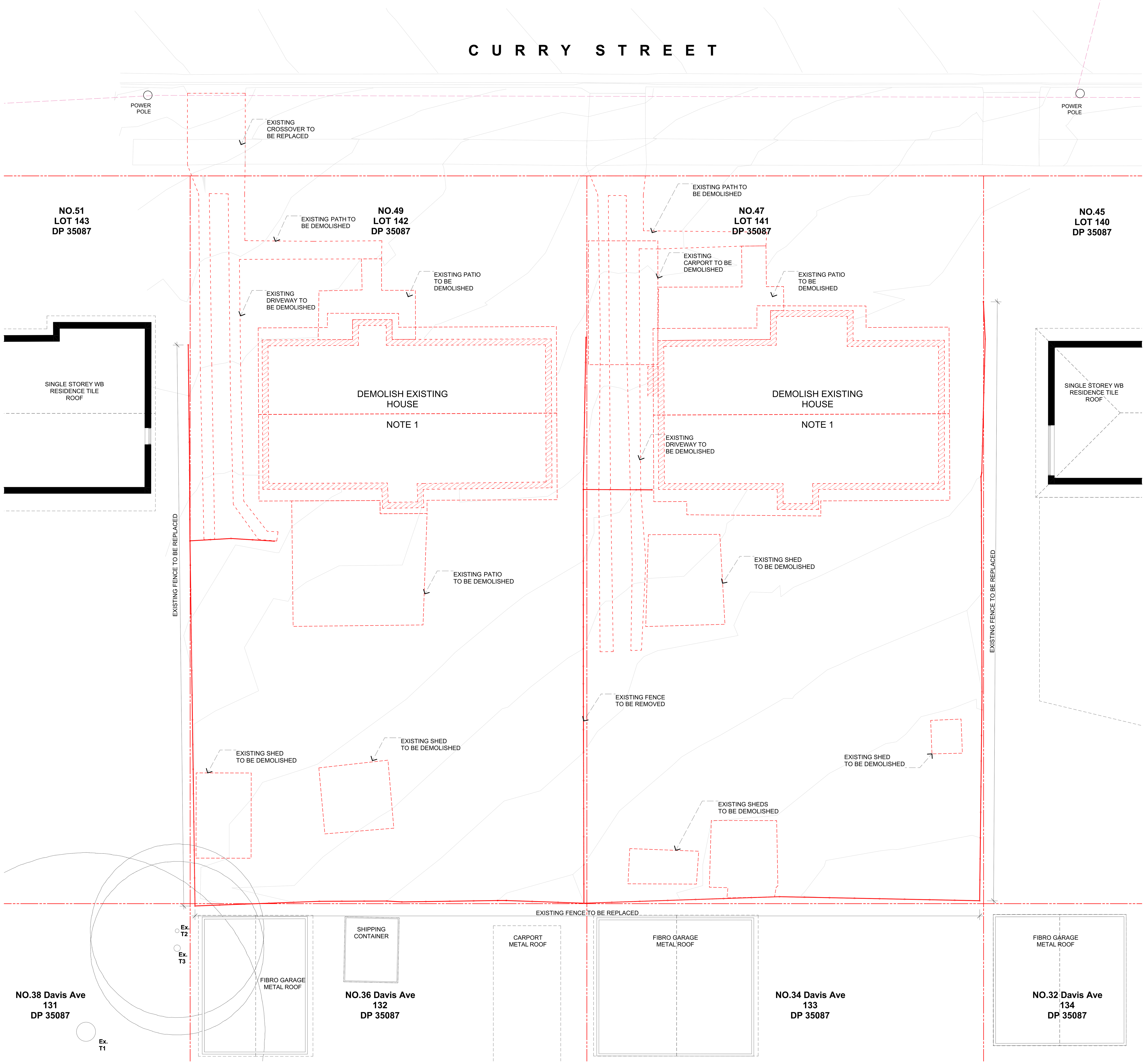
SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:200	21.25	AA	102	P3

SCALE @ A3 1:400

DRAWING TITLE
SITE ANALYSIS PLAN

Printed: 6:01 PM, 28/11/2022

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



NOTES

NOTE 1:
DEMOLISH SINGLE STOREY FIBRO RESIDENCE WITH TILED ROOF INCLUDING SLABS AND FOOTINGS.

NOTE 2:
DEMOLISH EXISTING EXTERNAL CONCRETE AREAS

0007825770 28 Jun 2022
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VEHICULAR SIGHTLINES
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LAND & HOUSING CORPORATION (LAHC)

PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

NORTH POINT

SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:100	21.25	AA	103	P3

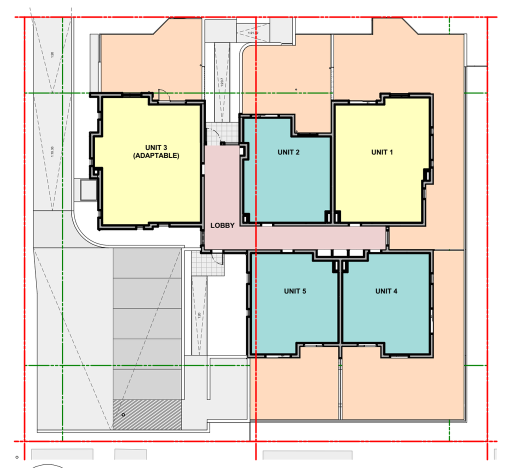
SCALE @ A3
1:200

DRAWING TITLE
DEMOLITION PLAN

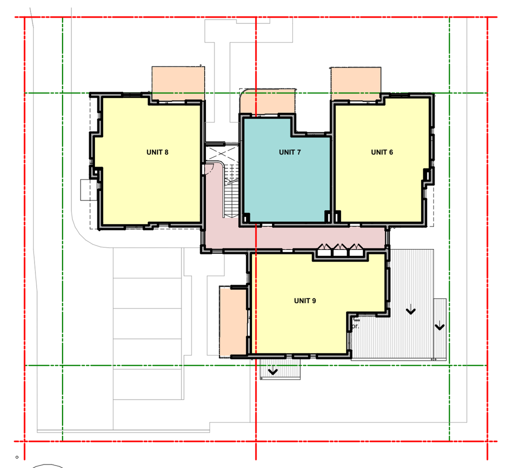
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023

Locality/Suburb	WALLSEND					
Street Address	47 & 49 Curry Street					
Lot Number(s) & Deposited Plan	Lot 141 & 142 DP 35087					
SITE AREA (m²)	Lot 141 - 613.16 Lot 142 - 613.16 Total - 1226.32 m²					
NUMBER OF EXISTING LOTS	2					
PROPOSED GFA (m²)	652					
NUMBER OF DWELLINGS	4 x 1 Bed 5 x 2 Bed = 9 Dwellings					
DWELLINGS	**Number**	**Type**	**No. of Bedrooms**	**GFA Ground (m²)**	**GFA First (m²)**	**POS**
	1	Ground	2	70		92
	2	Ground	1	52		44
	3	Ground (Adaptable)	2	78		43
	4	Ground	1	51		70
	5	Ground	1	51		37
	6	First	2		70	10
	7	First	1		52	8
	8	First	2		78	11
	9	First	2		73	11
LOBBY		Ground		43		
		First			34	
TOTAL			**14**	**652**		**326**

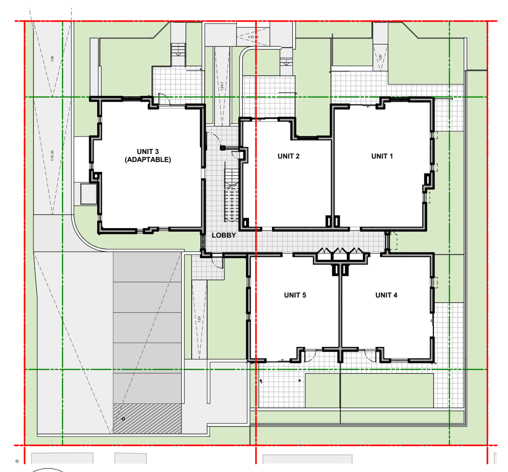
	CONTROL		**REQUIREMENT**	**PROPOSED**	
HEIGHT	Housing SEPP		9m	Maximum 8.08m - Complies	
	Newcastle LEP		8.5 m		
FSR	Newcastle LEP		0.6 : 1 (Max. 736 m²)	0.53 to 1 - Complies	
SETBACK	Newcastle DCP	Front Street Setback	Avg. neighbouring - 6m	GF minimum - 6m 1F minimum - 3.9m - Encroachment for 1F Balconies	
		Side Setback	0.9m up to 4.5m - above 4.5m at an angle of 4:1 to max permitted height	GF minimum - 3.25m 1F minimum - 4.25m - Complies	
		Secondary Setback	2m	N/A	
		Rear Setback	3m up to 4.5m 6m setback for greater than 4.5m	GF and 1F - 6.75m - Complies	
PARKING	Housing SEPP (Division 6)		0.4 x 4 (1 Bed) = 1.6 0.5 x 5 (2 Bed) = 2.5 (total 5 spaces, incl. 1 accessible space)	Total provided 5 - Complies	
LANDSCAPE	Newcastle DCP	General	Min 30% of site area = 368 m²	Proposed 388 m² - Complies	
DEEP SOIL	Newcastle DCP	General	15% of site area = 184 m²	Total provided 235 m² - Complies	
SOLAR ACCESS	SLUDG	General	70% of dwellings receive min 3 hrs sunlight to Living & POS in Mid-Winter	7 / 9 Living Rooms	7 / 9 POS
DWELLING SIZE	LAHC Dwelling Requirements	General	1 Bedroom dwelling: Min 50m² 2 Bedroom dwelling: Min 70m²	Complies	
PRIVATE OPEN SPACE	LAHC Dwelling Requirements	General	GF: Not less than 15 m² per unit Min dimension 3m FF: 10 m² per 2 bed unit Min dimension 2m & 8 m² per 1 bed unit Min dimension 2m	Complies	



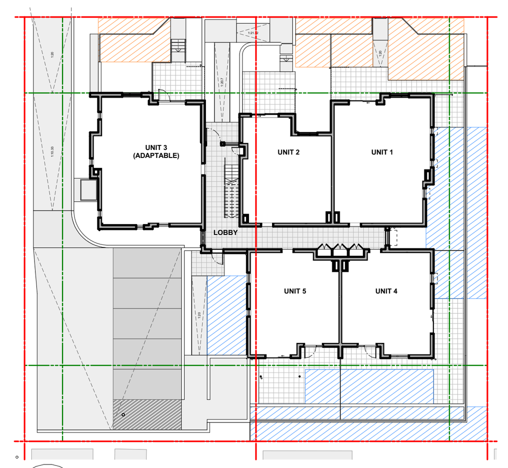
01 GF AREAS - GFA & POS
1:500



02 FF AREAS - GFA & POS
1:500



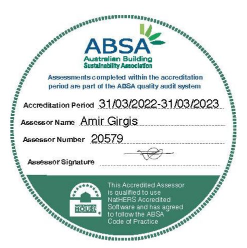
03 GF AREAS - LANDSCAPE
1:500



04 GF AREAS - DEEP SOIL
1:500

LEGEND

- GFA - 1 BED UNITS
- GFA - 2 BED UNITS
- GFA - PRIVATE OPEN SPACE
- GFA - COMMON AREA
- LANDSCAPE AREA
- DEEP SOIL FRONT OF SETBACK
- DEEP SOIL REAR OF SETBACK



PART 5 ASSESSMENT

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BOUNDARY
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SUBSTATION 3M CLEARANCE
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RL PROPOSED

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CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

NORTH POINT

SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:500	21.25	AA	104	P3

SCALE @ A3
1:200
DRAWING TITLE
DEVELOPMENT DATA

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023

LEGEND

FN-1 FENCING
COLORBOND FENCE 1800mm
(REFER LANDSCAPE DOCS.)

FN-2 FENCING
KOHL PALISADE FENCING 1200mm
(REFER LANDSCAPE DOCS.)

FN-3 FENCING
KOHL PALISADE FENCING 800mm
(REFER LANDSCAPE DOCS.)

0007825770 28 Jun 2022
7.2 Average star rating
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Address Curry Street , Wallsend , NSW , 2287
NATIONWIDE HOUSE ENERGY RATING SCHEME www.nathers.gov.au
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NORTH POINT

SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:100	21.25	AA	105	01

SCALE @ A3 1:200
DRAWING TITLE
SITE PLAN

Printed: 6:01 PM, 28/11/2022

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LEGEND

FN-1	**FENCING** COLORBOND FENCE 1800mm (REFER LANDSCAPE DOCS.)
FN-2	**FENCING** KOHL PALISADE FENCING 1200mm (REFER LANDSCAPE DOCS.)
FN-3	**FENCING** KOHL PALISADE FENCING 800mm (REFER LANDSCAPE DOCS.)

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Assessor Signature
This Accredited Assessor is authorised by ABSA to perform Energy Efficiency Assessments for Building and Water Conservation Certificates

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LAND & HOUSING CORPORATION (LAHC)

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CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

NORTH POINT

SCALE @ A1 1:100
SCALE @ A3 1:200

PROJECT NO. 21.25 | STAGE AA | DRAWING NO. 106 | REV P3

DRAWING TITLE
GROUND FLOOR PLAN

PART 5 ASSESSMENT

Printed: 6:01 PM, 28/11/2022

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Accreditation Period: 31/03/2020-31/03/2023
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F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT				
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER				

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EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au
ACN 165 409 567 Nominated Architect Sam Crawford 6498

DESCRIPTION	REV	APP'D	DATE
70% DA FOR LAHC REVIEW	P1	SC	4/02/2022
AM2 SUBMISSION	P2	SC	8/03/2022
AM2 RESUBMISSION	P3	SC	12/04/2022

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

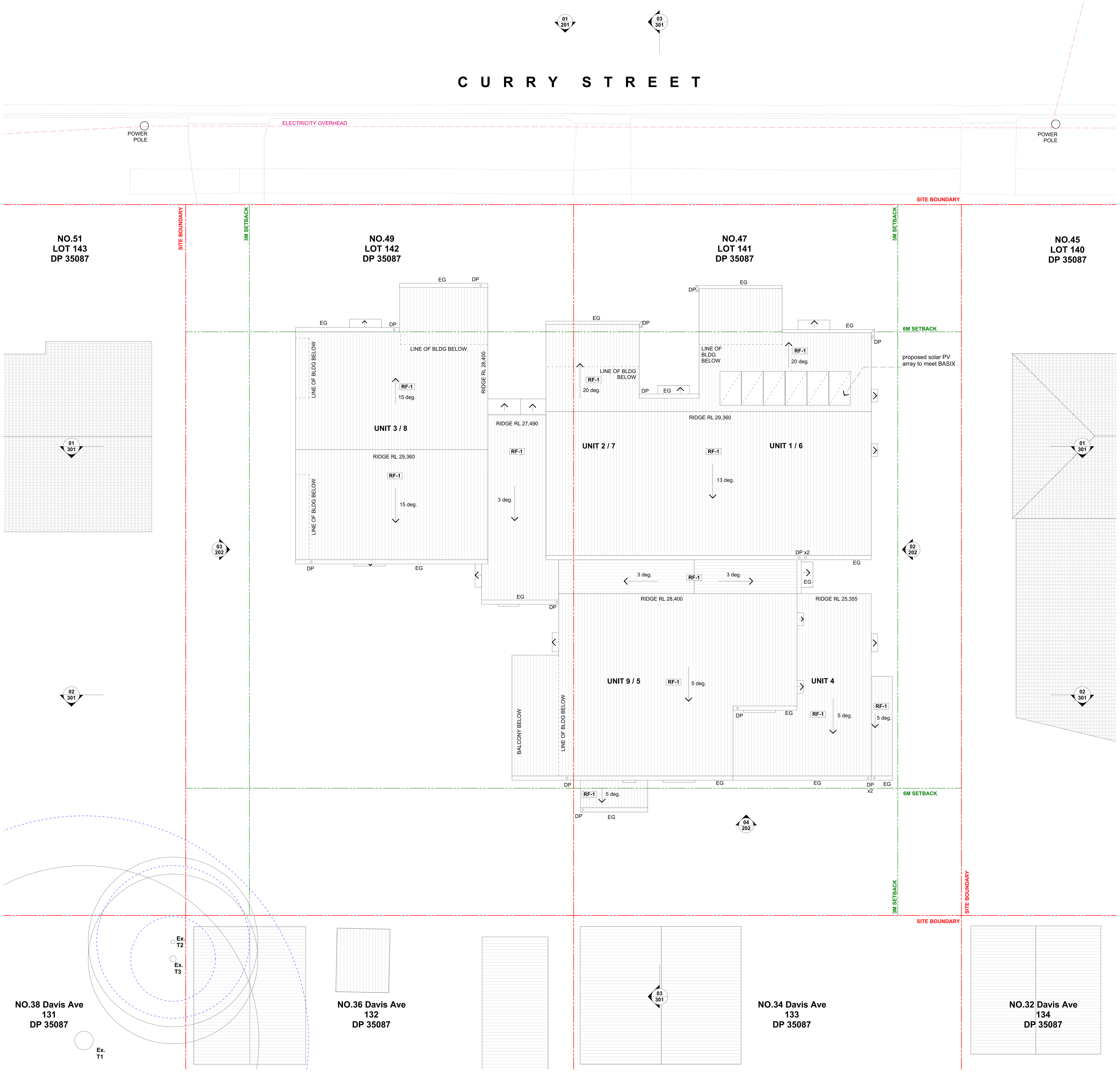
NORTH POINT

SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV.
1:100	21.25	AA	107	P3
SCALE @ A3	DRAWING TITLE			
1:200	**FIRST FLOOR PLAN**			

PART 5 ASSESSMENT

Printed: 6:03:10AM , 28/11/2022

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



PART 5 ASSESSMENT

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING	TOW	TOP OF WALL
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD	TOF	TOP OF FENCE
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
DP	DOWNPIPE	GM	GAS METER	O	OVEN	RW	RETAINING WALL
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION	RWT	RAIN WATER TANK
F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

BOUNDARY
SETBACKS
DEMOLITION
SUBSTATION EASEMENT
SUBSTATION 3M CLEARANCE
TREE PROTECTION ZONE
VEHICULAR SIGHTLINES
ACCESSIBLE CLEARANCES
(E) RL EXISTING
RL RL PROPOSED

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DESCRIPTION	REV	APP'D	DATE
70% DA FOR LAHC REVIEW	P1	SC	4/02/2022
AM2 SUBMISSION	P2	SC	8/03/2022
AM2 RESUBMISSION	P3	SC	12/04/2022

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

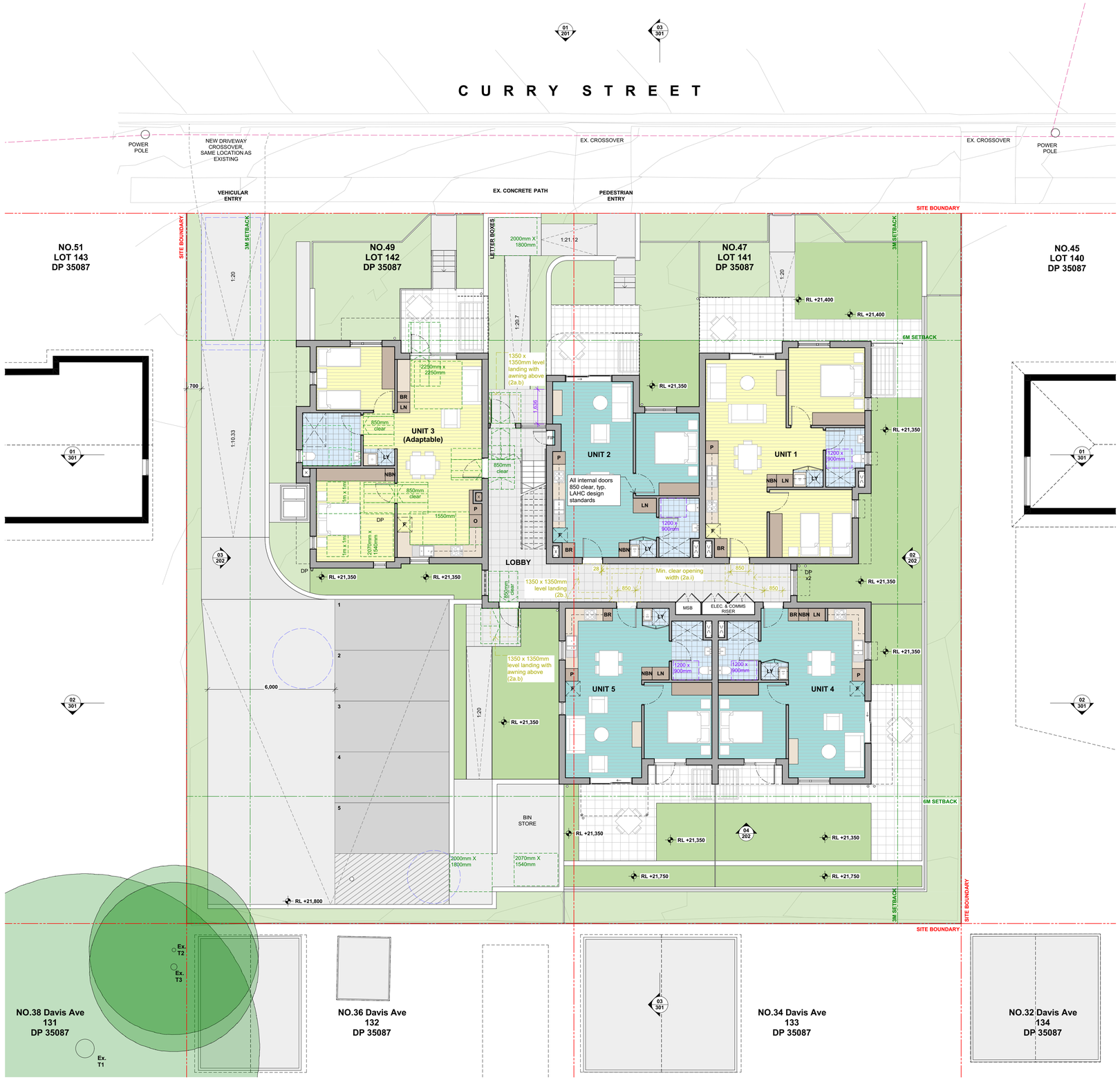
NORTH POINT

SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:100	21.25	AA	108	P3

SCALE @ A3
1:200
DRAWING TITLE
ROOF PLAN

Printed: 6:01 PM, 28/11/2022

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



LEGEND

- SILVER LEVEL COMPLIANCE
- GOLD LEVEL COMPLIANE

7.2 Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au
0007825770 28 Jun 2022
Assessor Amir Girgis
Accreditation No. 20579
Address Curry Street , Wallsend , NSW , 2287
hstar.com.au

ABSA Assessor Scheme
Assessors accredited within the accreditation period are part of the ABSA quality audit system
Accreditation Period: 31/03/2022-31/03/2023
Assessor Name: Amir Girgis
Assessor Number: 20579
Assessor Signature
This Accredited Assessor is authorised by ABSA to issue Certificates of Energy Performance for Class 2 buildings

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING	TOW	TOP OF WALL
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD	TOF	TOP OF FENCE
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
DP	DOWNPIPE	GM	GAS METER	O	OVEN	RW	RETAINING WALL
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION	RWT	RAIN WATER TANK
F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

BOUNDARY
SETBACKS
DEMOLITION
SUBSTATION EASEMENT
SUBSTATION 3M CLEARANCE
TREE PROTECTION ZONE
VEHICULAR SIGHTLINES
ACCESSIBLE CLEARANCES
(E) RL EXISTING
RL RL PROPOSED

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DESCRIPTION	REV	APPD	DATE
70% DA FOR LAHC REVIEW	P1	SC	4/02/2022
AM2 SUBMISSION	P2	SC	8/03/2022
AM3 RESUBMISSION	P3	SC	12/04/2022

CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

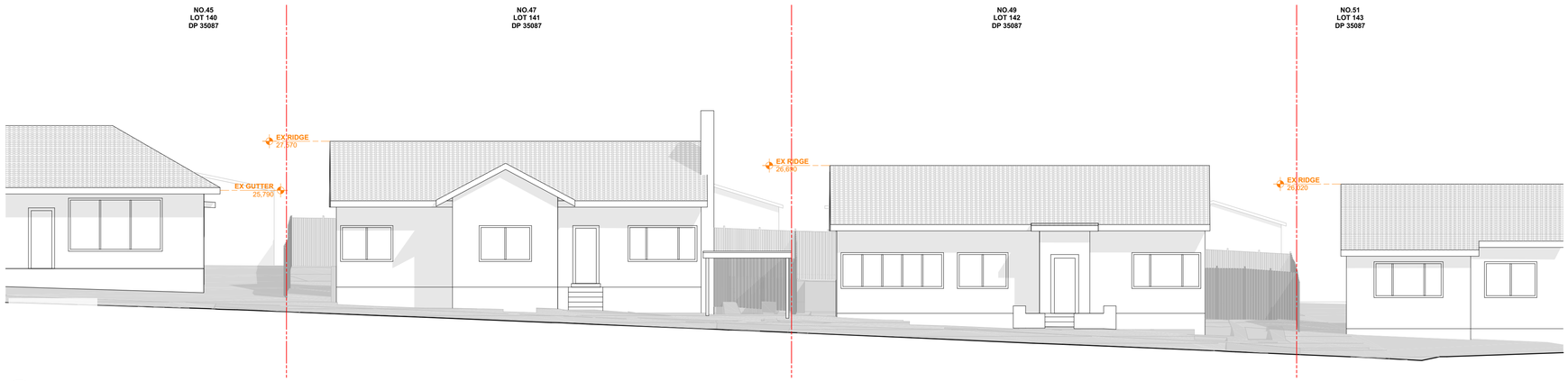
NORTH POINT

SCALE @ A1	PROJECT. NO.	STAGE	DRAWING NO.	REV
1:100	21.25	AA	109	P3
SCALE @ A3	DRAWING TITLE			
1:200	LIVABLE HOUSING COMPLIAN			

PART 5 ASSESSMENT

Printed: 6:01 PM - 28/11/2022

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



01 STREET ELEVATION EXISTING
1:100

02 STREET ELEVATION PROPOSED
1:100

EXTERNAL FINISHES

BAL-1	**BALUSTRADE**	METAL BALUSTRADE IN LEXICON QUARTER
BK-1	**WALLS**	BRICK - PGH COASTAL HAMPTONS - GULL GREY
BK-2	**WALLS**	BRICK - PGH TOWNHOUSE - KENT
FC-1	**WALLS**	FIBRE CEMENT CLADDING - JAMES HARDIE AXON CLADDING SMOOTH 133
RW-BK	**RETAINING WALL**	CONCRETE BLOCKWORK - WITH FACE BRICK BK-1 OR BK-2 (REFER ELEVATIONS)
FN-1	**FENCING**	COLORBOND FENCE 1800mm (REFER LANDSCAPE DOCS.)
FN-2	**FENCING**	KOHL PALISADE FENCING 1200mm (REFER LANDSCAPE DOCS.)
FN-3	**FENCING**	KOHL PALISADE FENCING 800mm (REFER LANDSCAPE DOCS.)
SC-1	**SCREENS**	ALUMINIUM VERTICAL BATTENS
RF-1	**ROOF**	CORRUGATED METAL ROOF- LYSAGHT CUSTOM ORB SHALE GREY
MC-1	**METAL CLADDING**	FINISH TO BE IN SHALE GREY
	WINDOWS AND DOORS	ALUMINIUM FRAME

0007825770 28 Jun 2022
7.2 Average star rating
Assessor Amir Girgis
Accreditation No. 20579
Address Curry Street , Wallsend , NSW , 2287
www.nathers.gov.au
hstar.com.au

ABSA Australian Building Sustainability Assessors
Accreditation Period: 31/03/2022-31/03/2023
Assessor Name Amir Girgis
Assessor Number 20579
Assessor Signature

PART 5 ASSESSMENT

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING	TOW	TOP OF WALL
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD	TOF	TOP OF FENCE
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
DP	DOWNPIPE	GM	GAS METER	O	OVEN	RW	RETAINING WALL
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION	RWT	RAIN WATER TANK
F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

BOUNDARY
SETBACKS
DEMOLITION
SUBSTATION EASEMENT
SUBSTATION 3M CLEARANCE
TREE PROTECTION ZONE
VEHICULAR SIGHTLINES
ACCESSIBLE CLEARANCES
(E) RL EXISTING
RL RL PROPOSED

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REV	APP'D	DATE	DESCRIPTION
P1	SC	4/02/2022	70% DA FOR LAHC REVIEW
P2	SC	8/03/2022	AM2 SUBMISSION
P3	SC	12/04/2022	AM2 RESUBMISSION

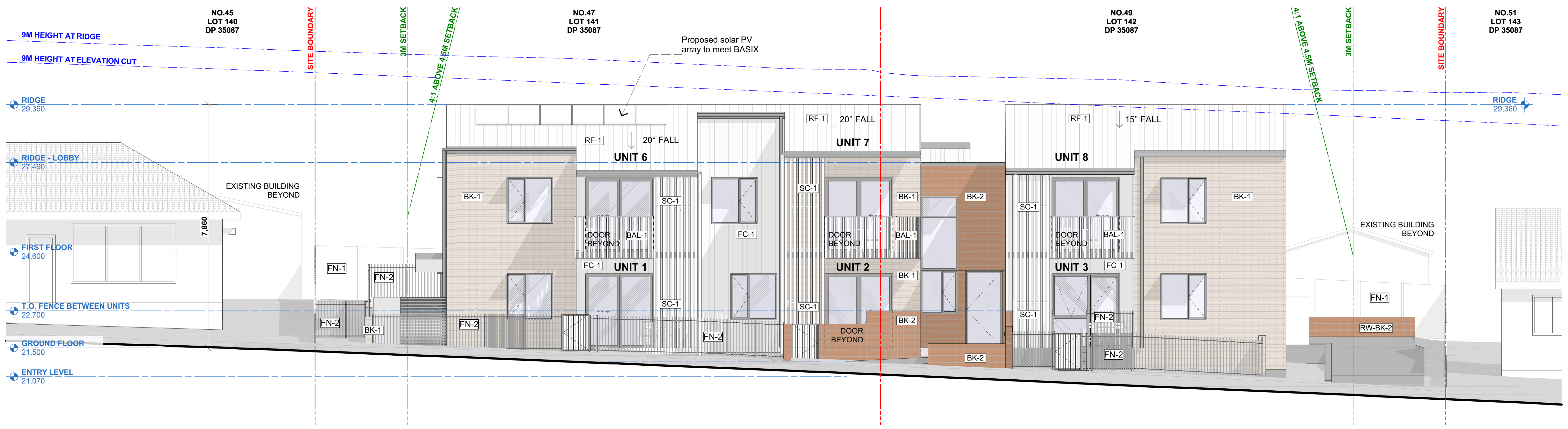
CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

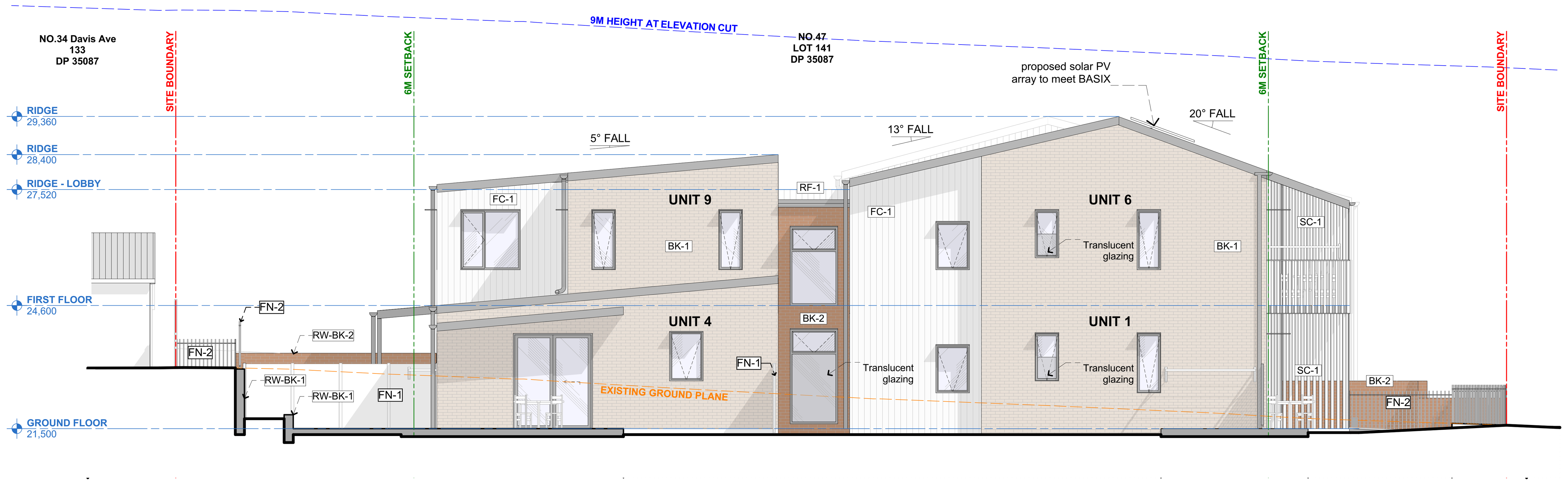
SCALE @ A1 1:100
SCALE @ A3 1:200
PROJECT NO. 21.25
STAGE AA
DRAWING NO. 201
REV P3
DRAWING TITLE
STREET ELEVATIONS

Printed: 6:01 PM, 28/10/2022

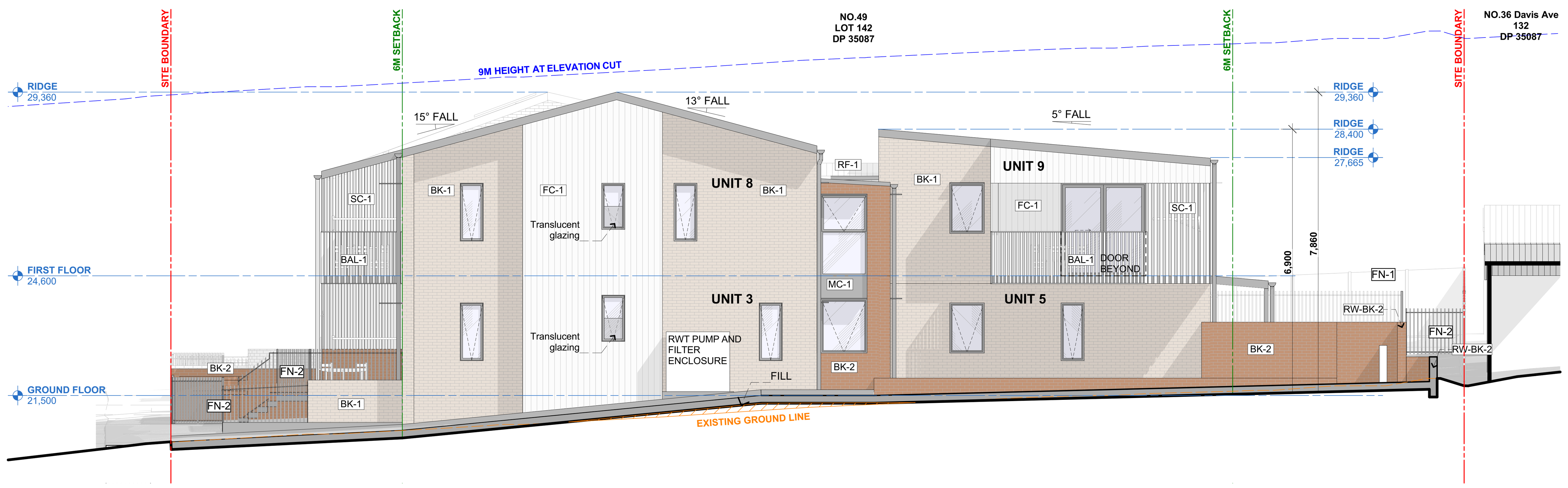
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



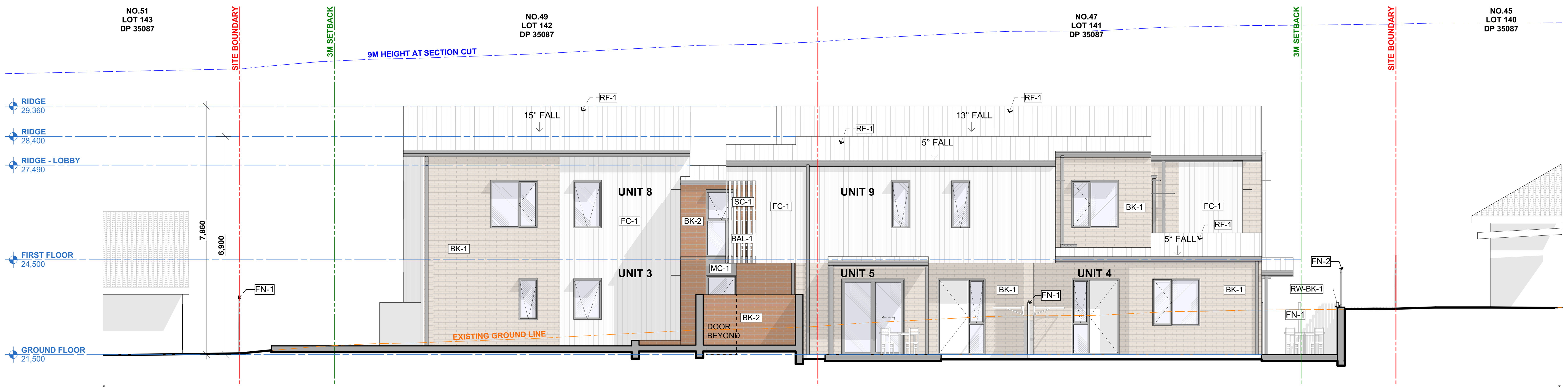
01 **NORTH ELEVATION**
1:100



02 **EAST ELEVATION**
1:100



03 **WEST ELEVATION**
1:100



04 **SOUTH ELEVATION**
1:100

EXTERNAL FINISHES

BAL-1	**BALUSTRADE** METAL BALUSTRADE IN LEXICON QUARTER
BK-1	**WALLS** BRICK - PGH COASTAL HAMPTONS - GULL GREY
BK-2	**WALLS** BRICK - PGH TOWNHOUSE - KENT
FC-1	**WALLS** FIBRE CEMENT CLADDING - JAMES HARDIE AXON CLADDING SMOOTH 133
RW-BK	**RETAINING WALL** CONCRETE BLOCKWORK - WITH FACE BRICK BK-1 OR BK-2 (REFER ELEVATIONS)
FN-1	**FENCING** COLORBOND FENCE 1800mm (REFER LANDSCAPE DOCS.)
FN-2	**FENCING** KOHL PALISADE FENCING 1200mm (REFER LANDSCAPE DOCS.)
FN-3	**FENCING** KOHL PALISADE FENCING 800mm (REFER LANDSCAPE DOCS.)
SC-1	**SCREENS** ALUMINIUM VERTICAL BATTENS
RF-1	**ROOF** CORRUGATED METAL ROOF- LYSAGHT CUSTOM ORB SHALE GREY
MC-1	**METAL CLADDING** FINISH TO BE IN SHALE GREY
	WINDOWS AND DOORS ALUMINIUM FRAME
	FASCIA, GUTTER, DOWNPIPE, WINDOW HOODS FINISH TO BE IN SHALE GREY. LEXICON QUARTER FINISH FOR DOWNPIPES ADJACENT SC-1 (REFER ELEVATIONS)

PART 5 ASSESSMENT

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL
DP	DOWNPIPE	GM	GAS METER	O	OVEN
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION
F	FRIDGE	LY	LAUNDRY	P	PANTRY
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE

TOW	TOP OF WALL
TOF	TOP OF FENCE
RL	REDUCED LEVEL
RF	ROOFING
RW	RETAINING WALL
RWT	RAIN WATER TANK
SWP	STORM WATER PIT
WM	WATER METER

BOUNDARY · SETBACKS · DEMOLITION · SUBSTATION EASEMENT · SUBSTATION 3M CLEARANCE · TREE PROTECTION ZONE · VEHICULAR SIGHTLINES · ACCESSIBLE CLEARANCES · RL EXISTING · RL PROPOSED

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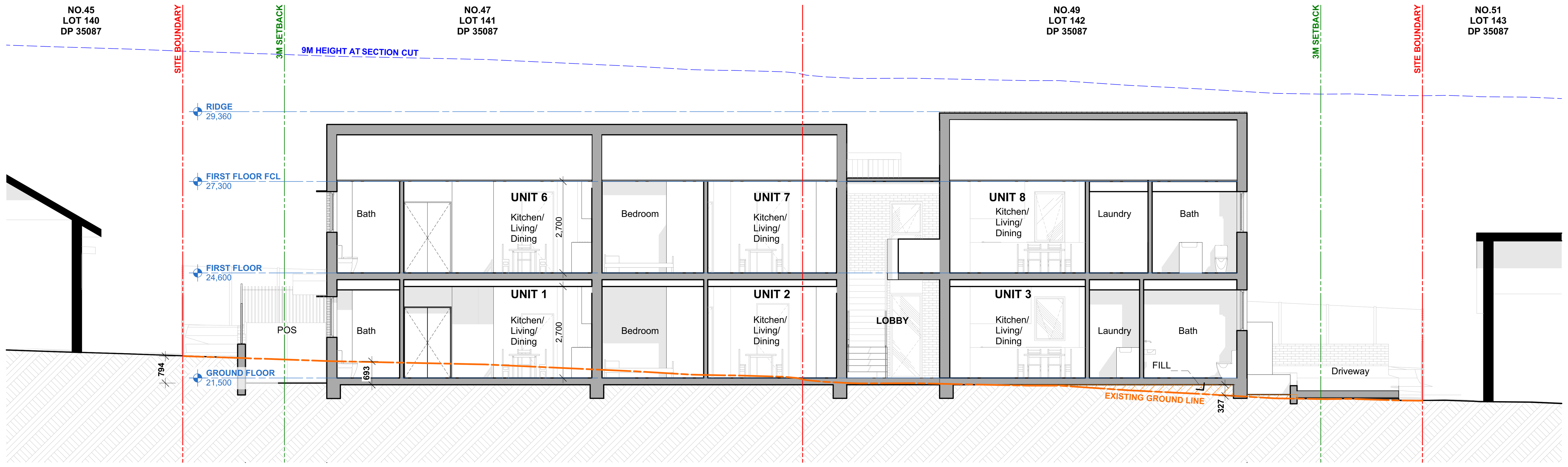
DESCRIPTION	REV	APP'D	DATE
70% DA FOR LAHC REVIEW	P1	SC	4/02/2022
AM2 SUBMISSION	P2	SC	8/03/2022
AM2 RESUBMISSION	P3	SC	12/04/2022

CLIENT: LAND & HOUSING CORPORATION (LAHC)
PROJECT: **CURRY ST**
47-49 CURRY STREET, WALLSEND NSW 2287

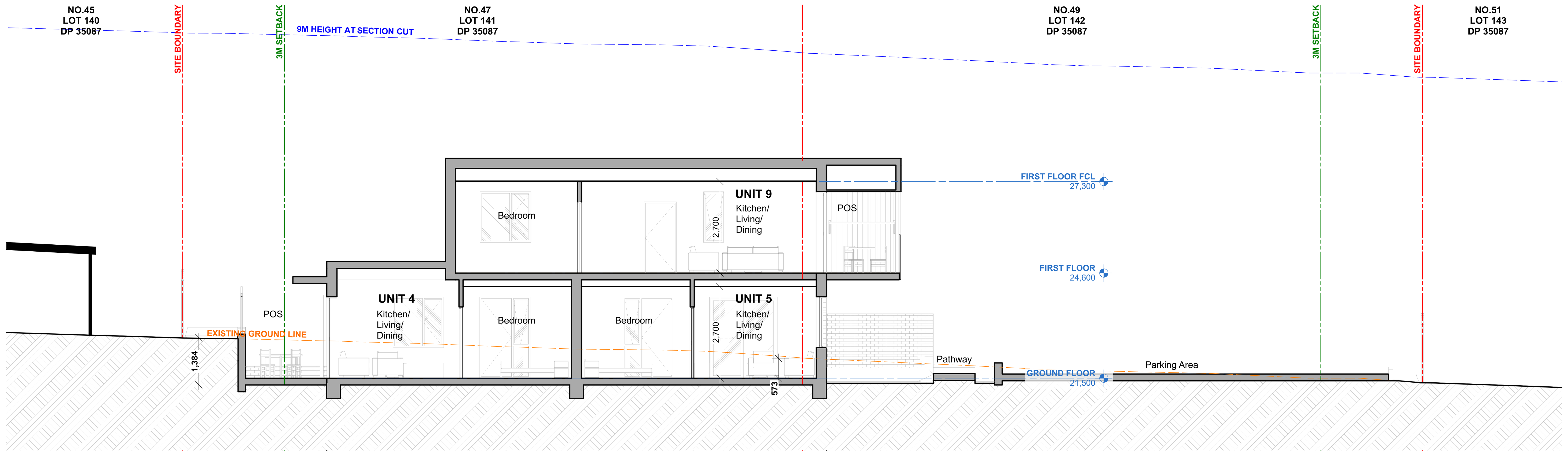
SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:100	21.25	AA	202	P3

SCALE @ A3: 1:200
DRAWING TITLE: **ELEVATIONS**

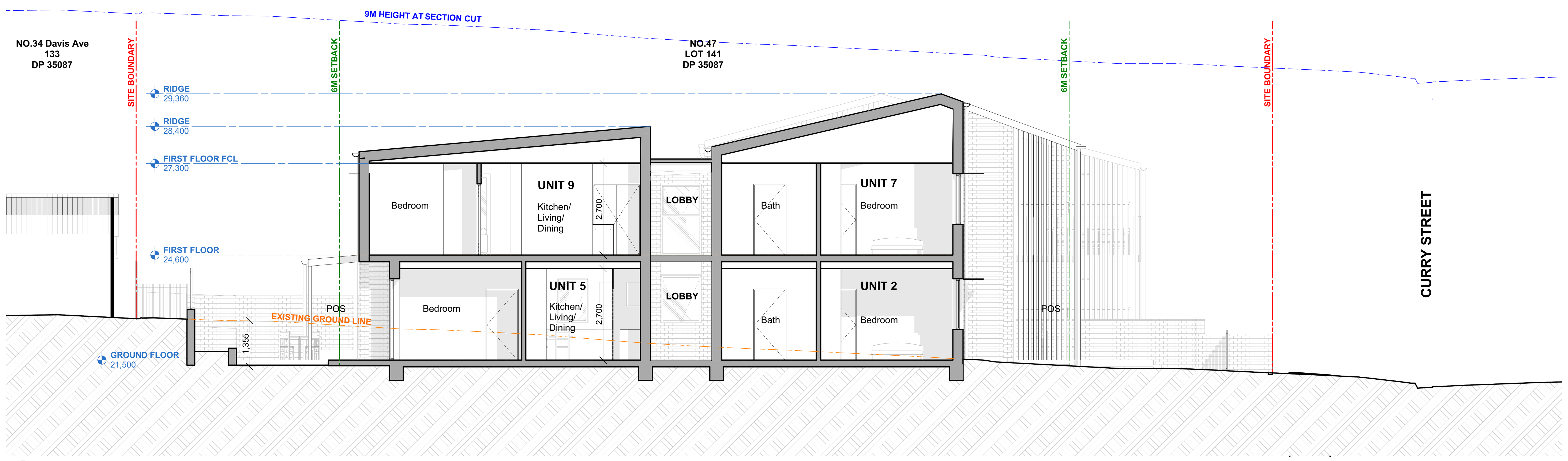
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



01 EAST WEST SECTION 1
1:100



02 EAST WEST SECTION 2
1:100



03 NORTH SOUTH SECTION 3
1:100

PART 5 ASSESSMENT

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING	TOW	TOP OF WALL
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD	TOF	TOP OF FENCE
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
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FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

BOUNDARY
SETBACKS
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SUBSTATION 3M CLEARANCE
TREE PROTECTION ZONE
VEHICULAR SIGHTLINES
ACCESSIBLE CLEARANCES
(E) RL EXISTING
RL PROPOSED

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CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

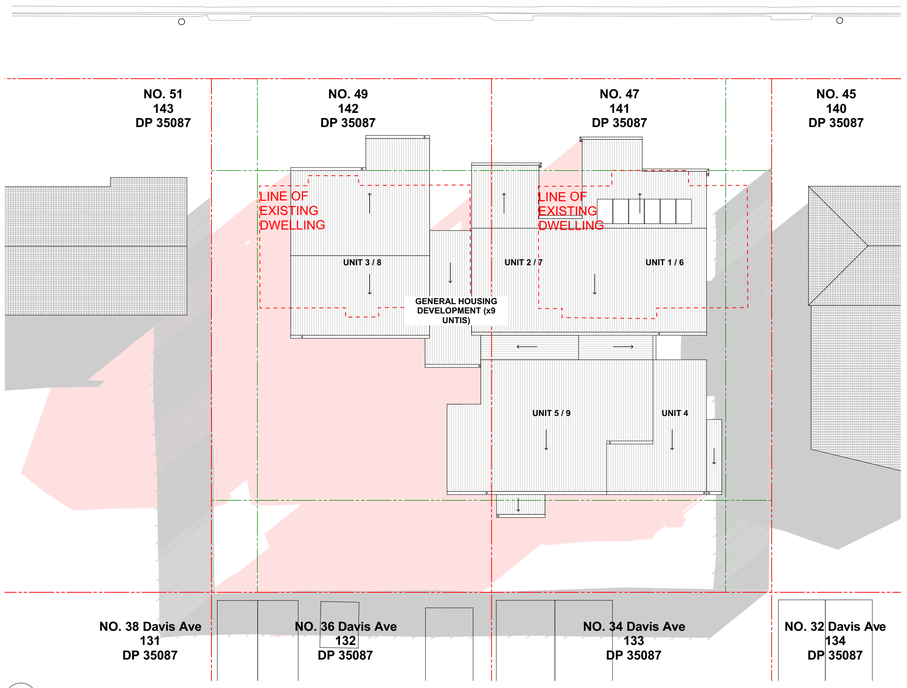
SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
1:100	21.25	AA	301	P3

SCALE @ A3
1:200
DRAWING TITLE
SECTIONS

Printed: 6:02 PM, 28/11/2022

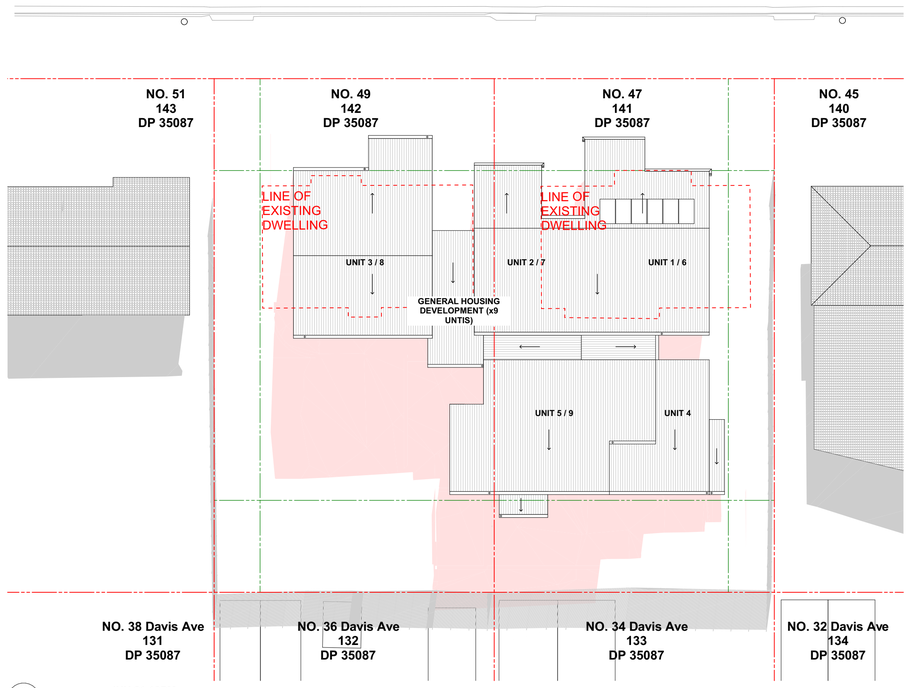
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023

CURRY STREET



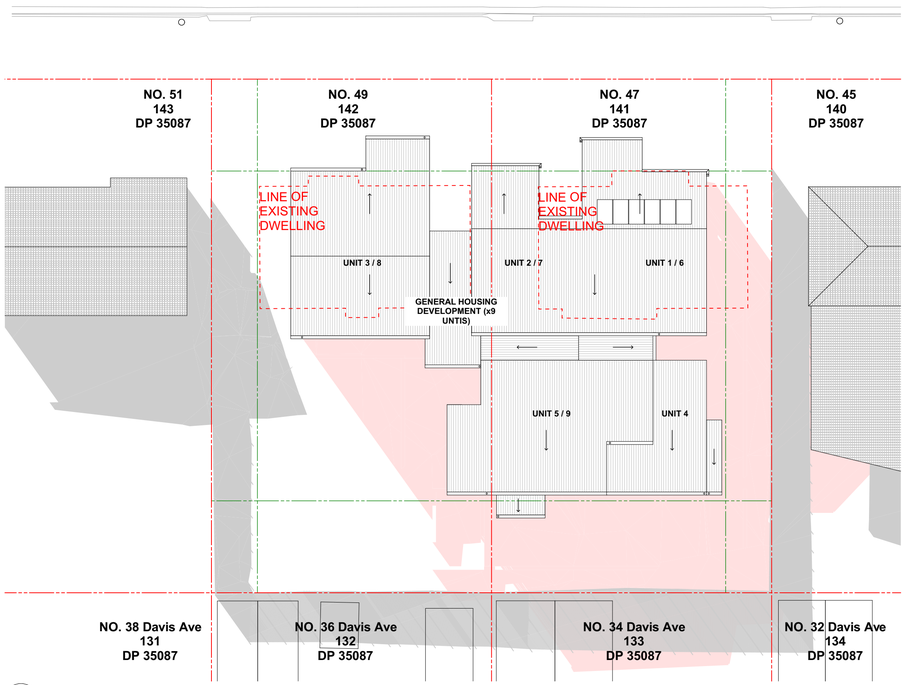
01 JUN 21 9AM

CURRY STREET



02 JUN 21 12PM

CURRY STREET



03 JUN 21 3PM

LEGEND

- SHADOWS CAST BY NEIGHBOURS
- SHADOWS CAST BY PROPOSED DWELLING

0007825770 28 Jun 2022
Assessor Amir Girgis
Accreditation No. 20579
Address
Curry Street , Wallsend , NSW , 2287
7.2 Average star rating
NATIONWIDE HOUSE ENERGY RATING
www.nathers.gov.au
hstar.com.au

ABSA Assessor Training
Assessments completed within the accreditation period as part of the ABSA quality audit system
Accreditation Period: 31/03/2022-31/03/2023
Assessor Name: Amir Girgis
Assessor Number: 20579
Assessor Signature:
This Assessor is accredited to undertake Class 1 Residential Energy Efficiency Assessments under the ABSA Assessor Training Scheme

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING	TOW	TOP OF WALL
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD	TOF	TOP OF FENCE
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
DP	DOWNPIPE	GM	GAS METER	O	OVEN	RW	RETAINING WALL
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION	RWT	RAIN WATER TANK
F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

BOUNDARY
SETBACKS
DEMOLITION
SUBSTATION /EASEMENT
SUBSTATION 3M CLEARANCE
TREE PROTECTION ZONE
VEHICULAR SIGHTLINES
ACCESSIBLE CLEARANCES
(E) RL EXISTING
RL RL PROPOSED

25m
50m

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EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au
ACN 165 409 567 Nominated Architect Sam Crawford 6498

DESCRIPTION	REV	APPD	DATE
70% DA FOR LAHC REVIEW	P1	SC	4/02/2022
AM2 SUBMISSION	P2	SC	8/03/2022
AM2 RESUBMISSION	P3	SC	12/04/2022

CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

NORTH POINT

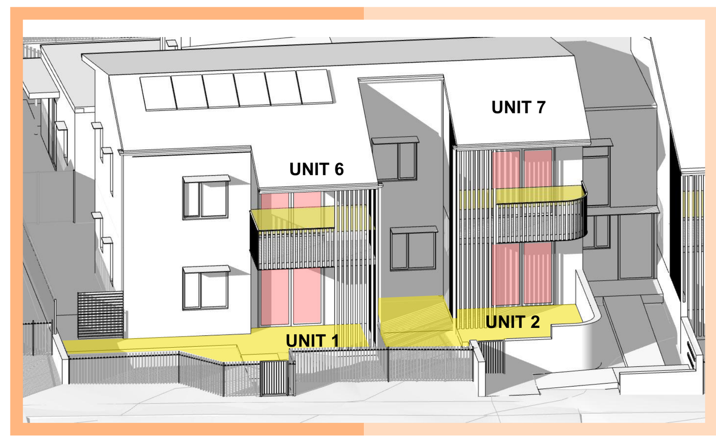
SCALE @ A1 1:200
SCALE @ A3 1:400
PROJECT NO. 21.25
STAGE AA
DRAWING NO. 401
REV **P3**
DRAWING TITLE
SHADOW DIAGRAMS

PART 5 ASSESSMENT

Printed: 6:03 PM, 28/11/2022

DETERMINED by the NSW Land and Housing Corporation on: 8 March 2023

9AM JUN 21



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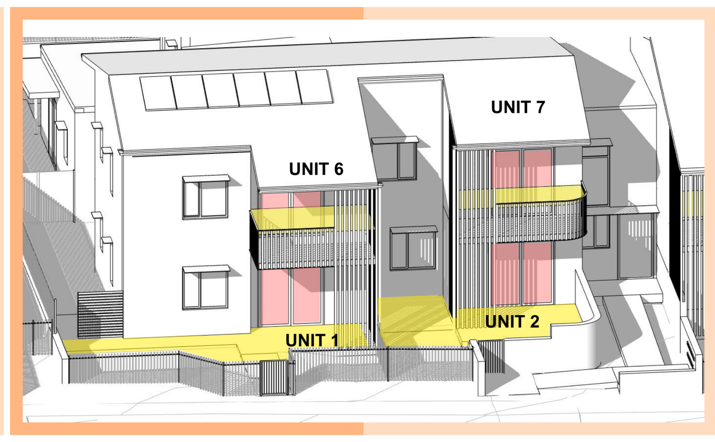
10AM JUN 21



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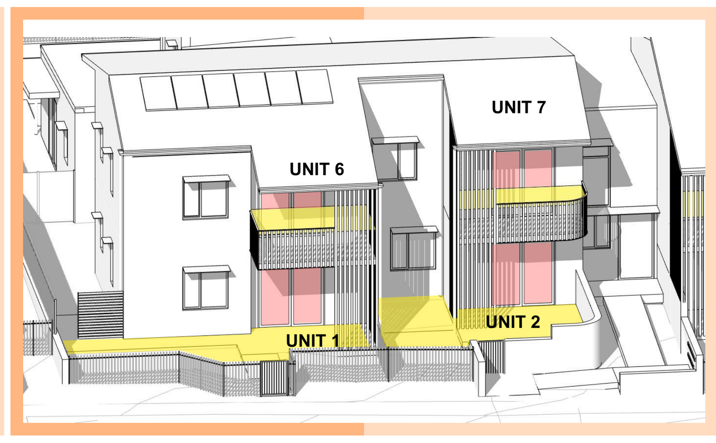
11AM JUN 21



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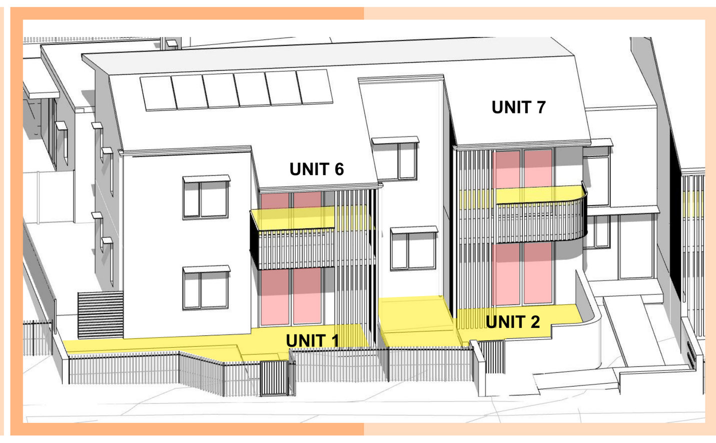
12PM JUN 21



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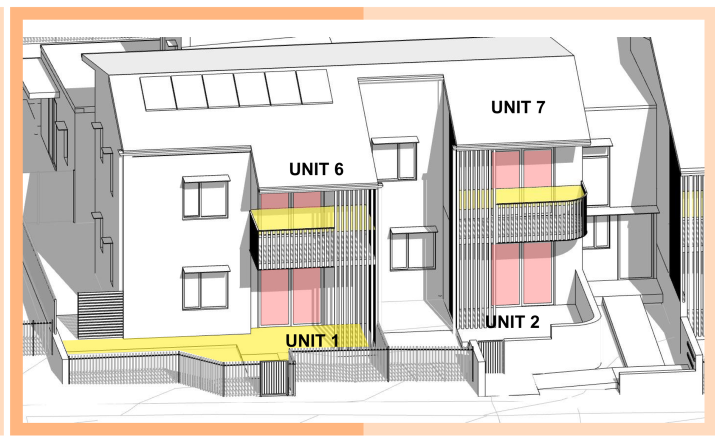
1PM JUN 21



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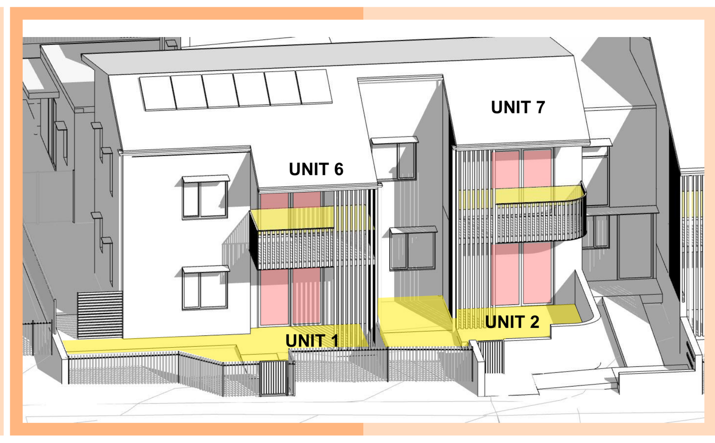
2PM JUN 21



UNIT 1: **POS: YES** **LIVING: YES**
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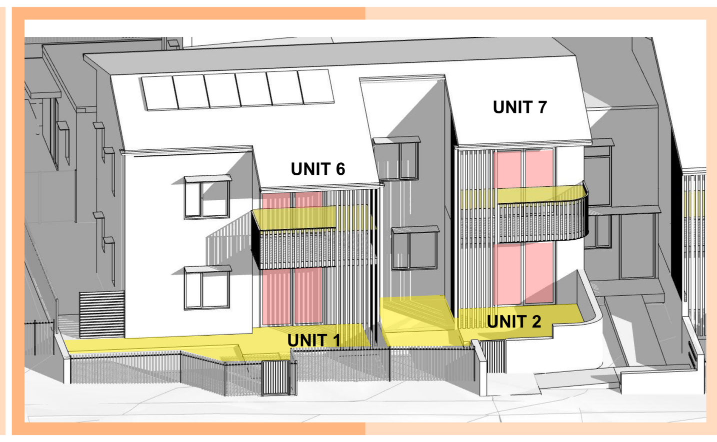
3PM JUN 21



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UNIT 2: **POS: YES** **LIVING: YES**
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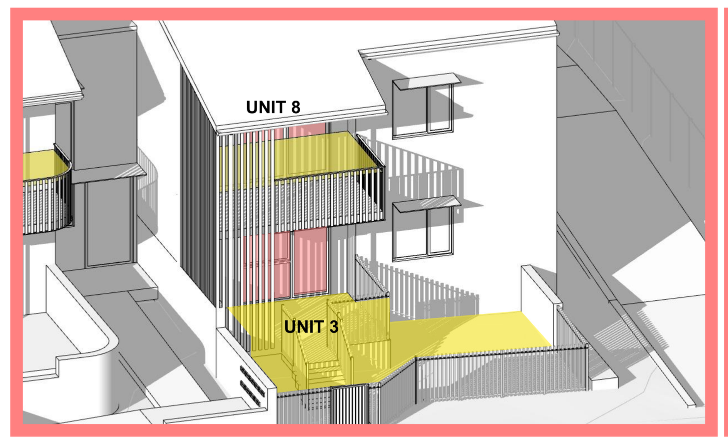
01 **UNIT 1, 2, 6, 7**

9AM JUN 21



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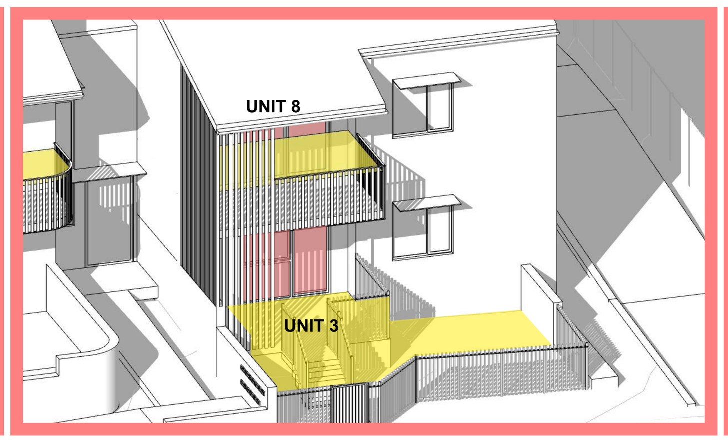
10AM JUN 21



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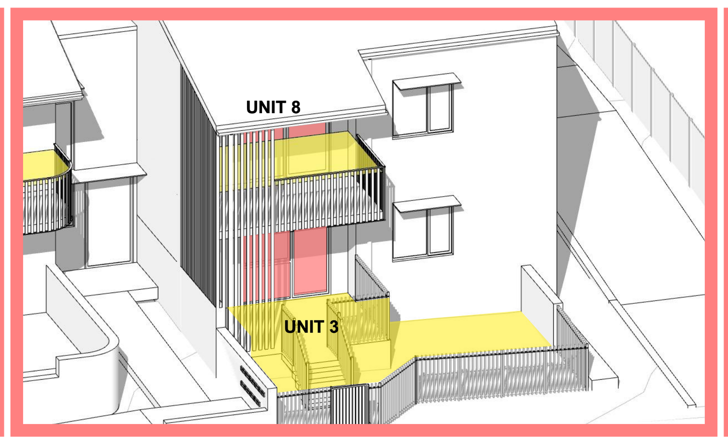
11AM JUN 21



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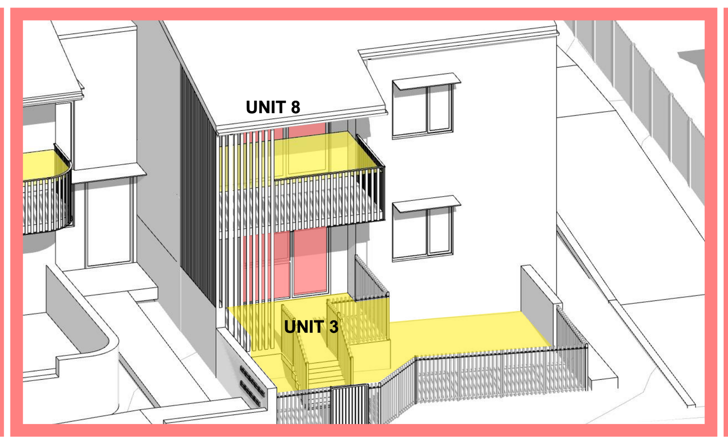
12PM JUN 21



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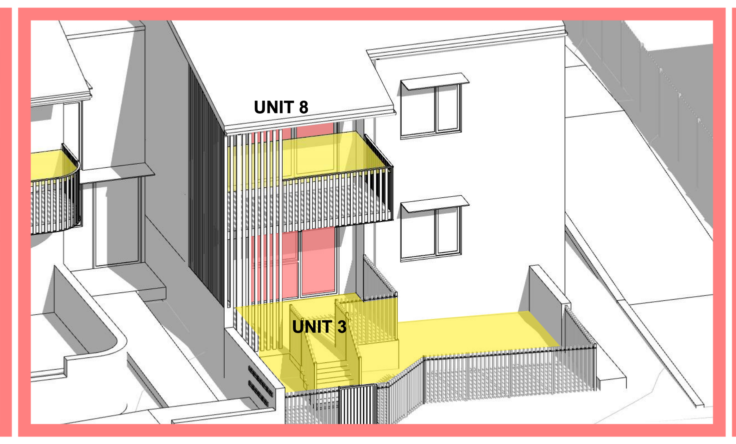

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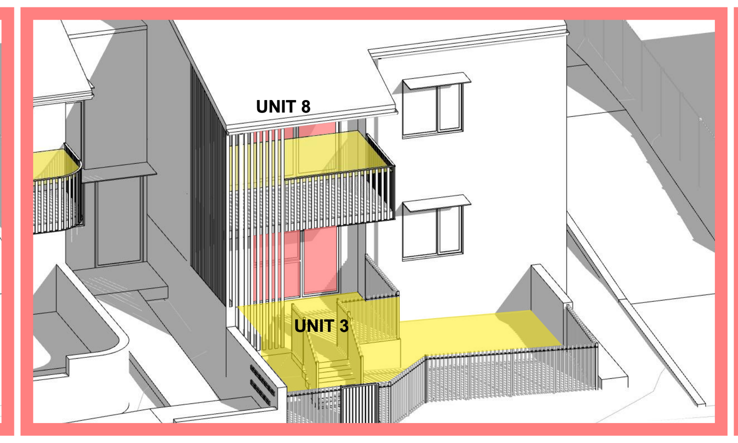

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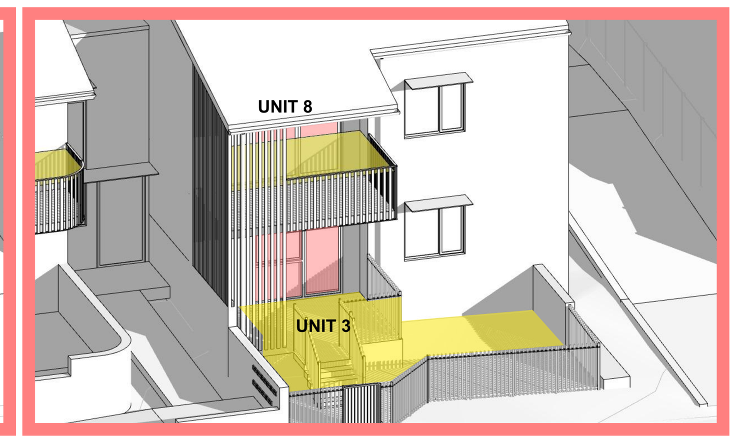
3PM JUN 21



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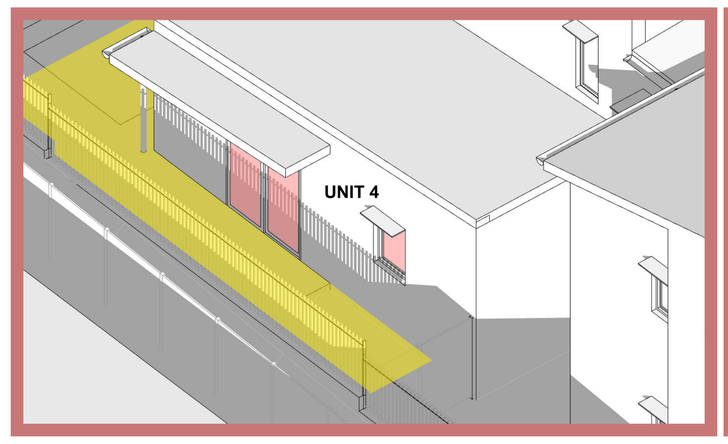
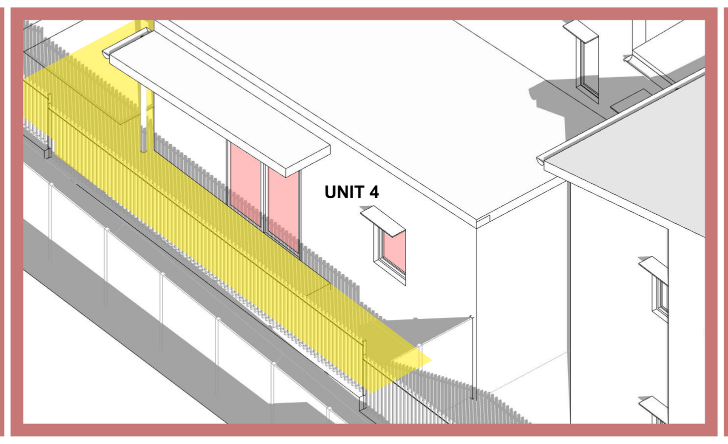
02 **UNIT 3, 8**

9AM JUN 21



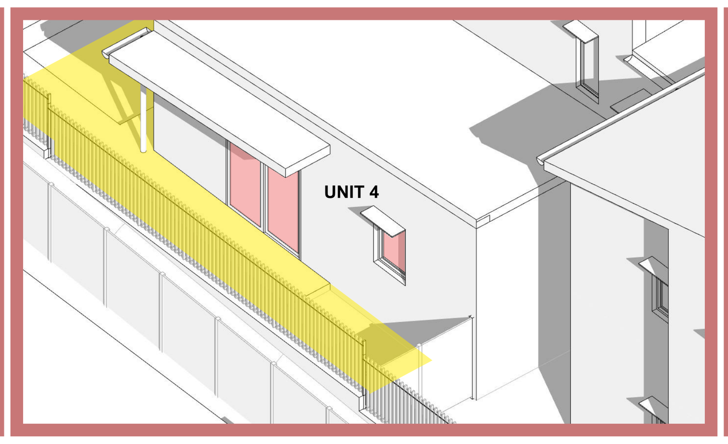
UNIT 4: **POS: NO** **LIVING/ KITCHEN: YES**

10AM JUN 21



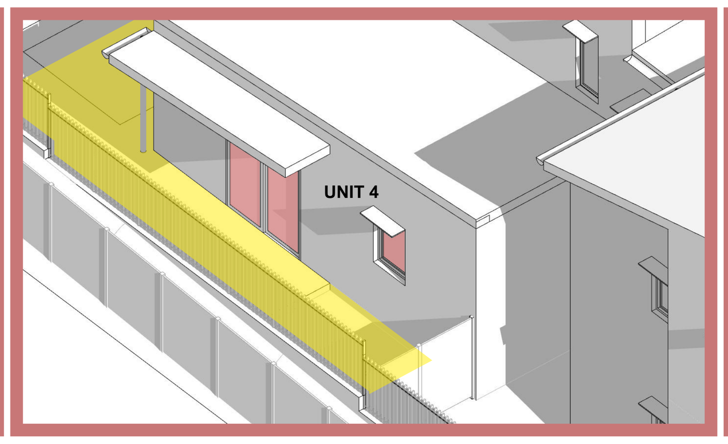
UNIT 4: **POS: YES** **LIVING/ KITCHEN: YES**

11AM JUN 21



UNIT 4: **POS: YES** **LIVING/ KITCHEN: YES**

12PM JUN 21



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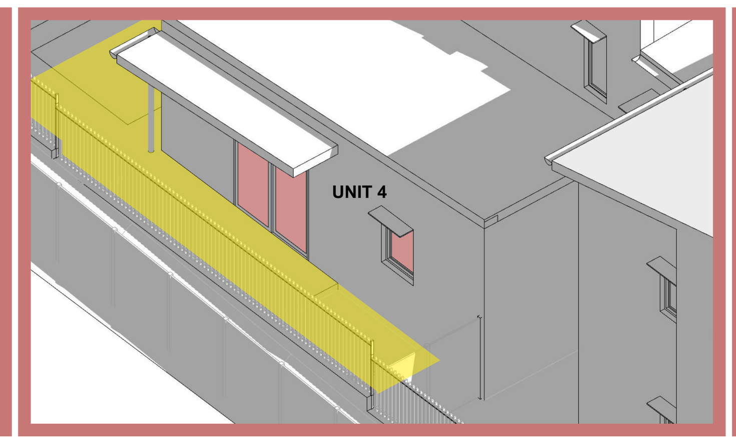
1PM JUN 21



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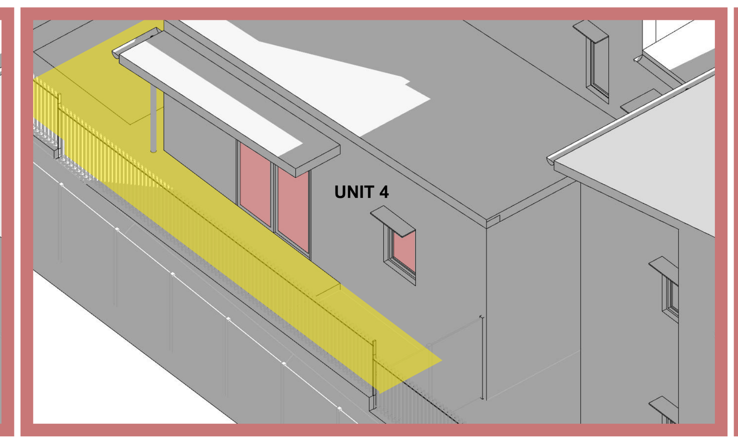
2PM JUN 21



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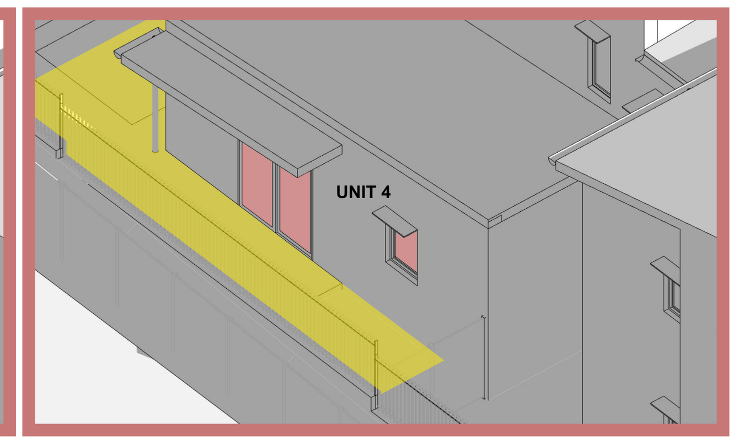
3PM JUN 21



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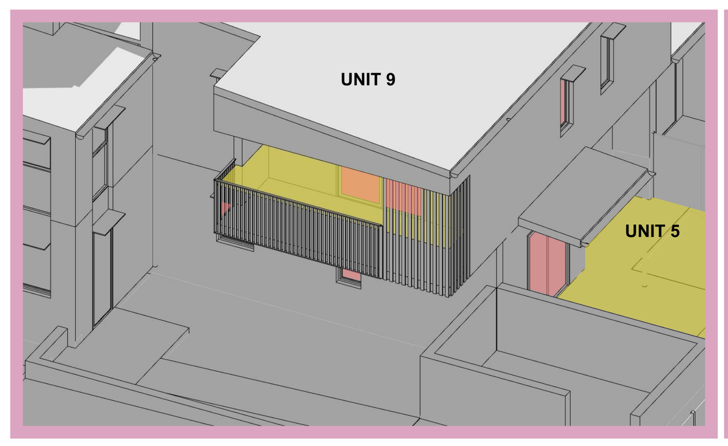
03 **9AM UNIT 4**

9AM JUN 21



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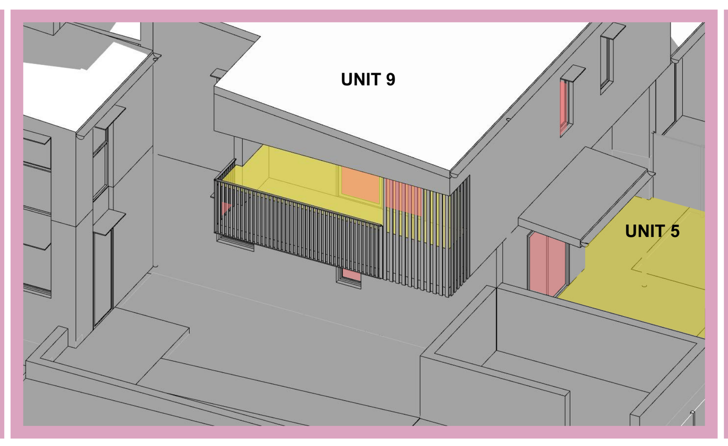

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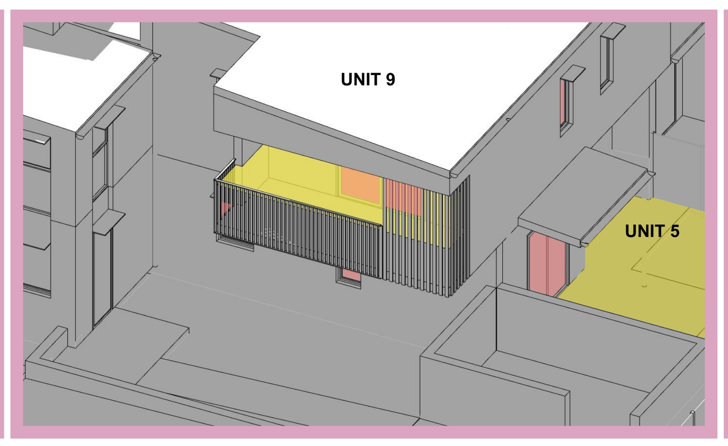

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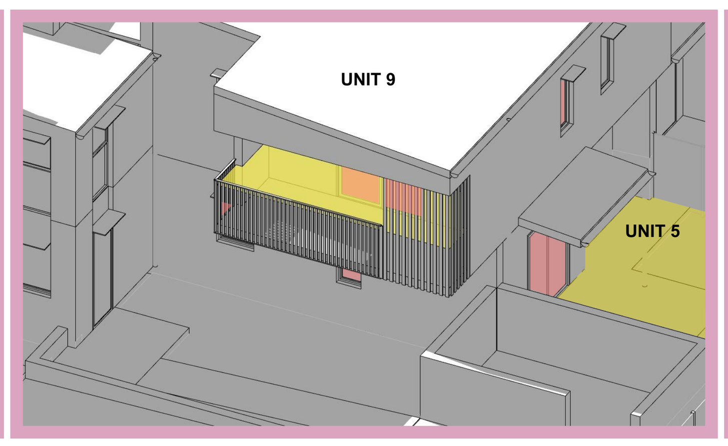
12PM JUN 21



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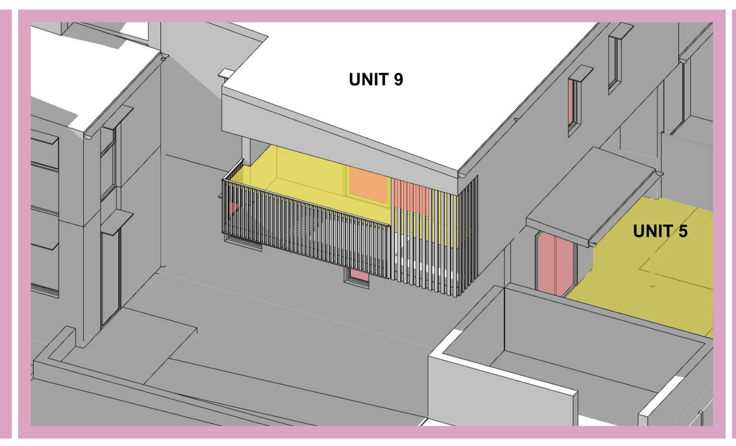

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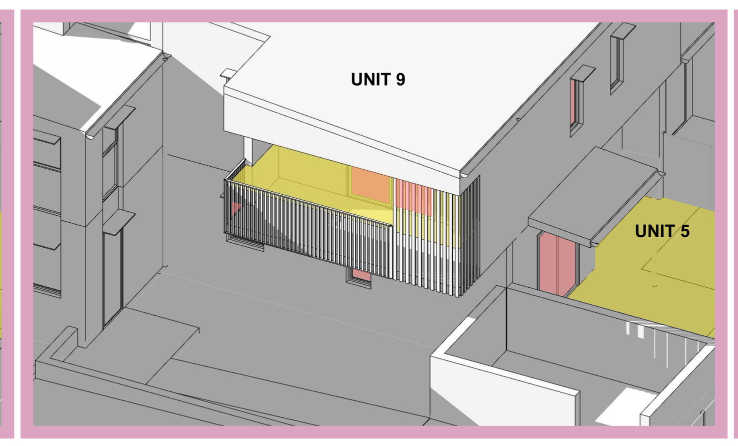

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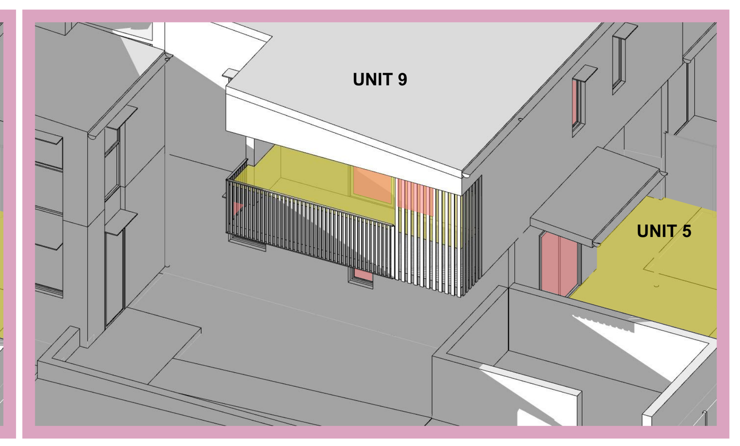


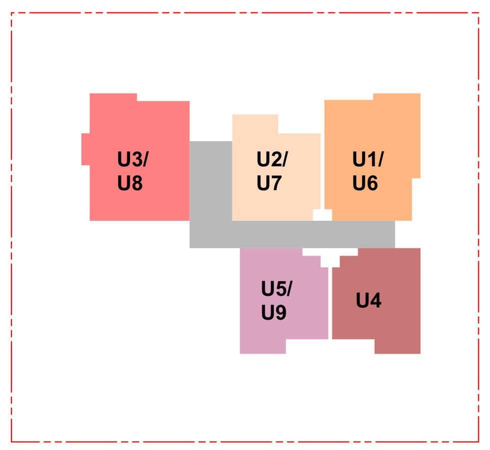
UNIT 5: **POS: NO** **LIVING: NO**
UNIT 9: **POS: YES** **LIVING: YES**

04 **UNIT 5, 9**

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

UNIT 1:	3HR minimum (9AM-3PM) Midwinter	**POS: YES**	**LIVING: YES**
UNIT 2:	3HR minimum (9AM-3PM) Midwinter	**POS: YES**	**LIVING: YES**
UNIT 3:	3HR minimum (9AM-3PM) Midwinter	**POS: YES**	**LIVING: YES**
UNIT 4:	3HR minimum (9AM-3PM) Midwinter	**POS: YES**	**LIVING: YES**
UNIT 5:	3HR minimum (9AM-3PM) Midwinter	**POS: NO**	**LIVING: NO**
UNIT 6:	3HR minimum (9AM-3PM) Midwinter	**POS: YES**	**LIVING: YES**
UNIT 7:	3HR minimum (9AM-3PM) Midwinter	**POS: YES**	**LIVING: YES**
UNIT 8:	3HR minimum (9AM-3PM) Midwinter	**POS: YES**	**LIVING: YES**
UNIT 9:	3HR minimum (9AM-3PM) Midwinter	**POS: NO**	**LIVING: NO**

TOTAL COMPLYING: **7 OF 9 UNITS**



LEGEND

- PRIVATE OPEN SPACES
- GLAZING TO LIVING ROOM

0007825770 28 Jun 2022
7.2 Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au
Assessor Amir Girgis
Accreditation No. 20579
Address Curry Street , Wallsend , NSW , 2287
hstar.com.au

ABSA Australian Building Sustainability Association
Assessments completed within the accreditation period are part of the ABSA quality audit system
Accreditation Period 31/03/2022-31/03/2023
Assessor Name Amir Girgis
Assessor Number 20579
Assessor Signature
This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice

PART 5 ASSESSMENT

BAL	BALUSTRADE	FFL	FINISHED FLOOR LEVEL	MS	MESH SCREENING	TOW	TOP OF WALL
BK	BRICK	FIP	FIRE INDICATOR PANEL	MSB	MAIN SWITCH BOARD	TOF	TOP OF FENCE
BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
DP	DOWNPIPE	GM	GAS METER	O	OVEN	RW	RETAINING WALL
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION	RWT	RAIN WATER TANK
F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

BOUNDARY
SETBACKS
DEMOLITION
SUBSTATION EASEMENT
SUBSTATION 3M CLEARANCE
TREE PROTECTION ZONE
VEHICULAR SIGHTLINES
ACCESSIBLE CLEARANCES
(E) RL EXISTING
RL RL PROPOSED

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samcrawfordarchitects
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TELEPHONE +612 9519 6800
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ACN 165 409 567 Nominated Architect Sam Crawford 6498

REV	APP'D	DATE	DESCRIPTION
P1	SC	4/02/2022	70% DA FOR LAHC REVIEW
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CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

SCALE @ A1	PROJECT NO.	STAGE	DRAWING NO.	REV
N.T.S.	21.25	AA	402	**P3**

SCALE @ A3 N.T.S.

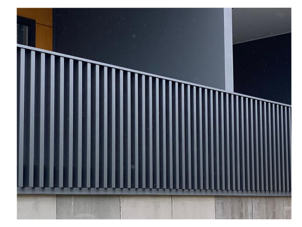
DRAWING TITLE
SOLAR ACCESS

Printed: 6:02 PM, 28/11/2022

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023

01 VIEW FROM CURRY STREET: PROPOSED

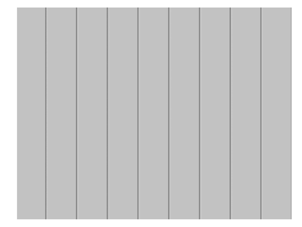
02 VIEW FROM PARKING : PROPOSED



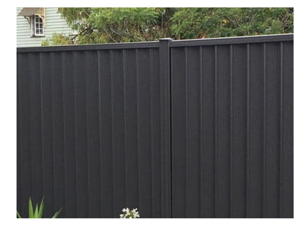
BAL - 1
Aluminium batten balustrade in Lexicon Quarter or similar finish

BK - 1
PGH Coastal Hamptons - Gull Grey

BK - 2
PGH Townhouse - Kent



FC - 1
James Hardie Axon Cladding - Smooth 133



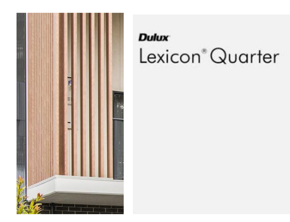
FN - 1
Colorbond steel fence in Monument grey

FN - 2
Kohl Palisade Fencing

MC - 1
Flat metal cladding in 'Shale Grey'

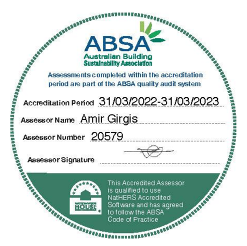
RF - 1
Lysaght custom orb 0.42 BMT in 'Shale Grey'. Steel Columns, Fascia, Gutter, Downpipe to be in 'Shale Grey'. Downpipe adjacent to SC-1 to be in Lexicon Quarter

RW - BK
Concrete Blockwork Retaining Wall with face brick



SC-1
Aluminium batten privacy screen in Lexicon Quarter or similar finish

HEKA HOODS
Over windows



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BR	BROOM CUPBOARD	FN	FENCING	NBN	NBN CUPBOARD	RL	REDUCED LEVEL
CL	CLOTHESLINE	GD	GRATED DRAIN	NGL	NATURAL GROUND LEVEL	RF	ROOFING
DP	DOWNPIPE	GM	GAS METER	O	OVEN	RW	RETAINING WALL
EG	EAVES GUTTER	HWU	HOT WATER UNIT	OSD	ON SITE DETENTION	RWT	RAIN WATER TANK
F	FRIDGE	LY	LAUNDRY	P	PANTRY	SWP	STORM WATER PIT
FC	FIBRE CEMENT CLADDING	LN	LINEN CUPBOARD	POS	PRIVATE OPEN SPACE	WM	WATER METER

BOUNDARY
SETBACKS
DEMOLITION
SUBSTATION EASEMENT
SUBSTATION 3M CLEARANCE
TREE PROTECTION ZONE
VEHICULAR SIGHTLINES
ACCESSIBLE CLEARANCES
(E) RL EXISTING
RL RL PROPOSED

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CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CURRY ST
47-49 CURRY STREET, WALLSEND NSW 2287

SCALE @ A1 N.T.S. | PROJECT NO. 21.25 | STAGE AA | DRAWING NO. 501 | REV **P3**
SCALE @ A3 N.T.S. | DRAWING TITLE **EXT. FINISHES & MATERIALS**

Printed: 6:02 PM, 28/11/2022

place design group.

sam crawford architects

LAHC WALLSEND - CURRY STREET

Prepared for

NSW LAND AND HOUSING CORPORATION

June 2022

place
design
group.

Australia
China
South East Asia

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Report title	47 - 49 Curry Street, Wallsend NSW 2287
Document number	2521028
Prepared for	Sam Crawford Architects
Authors	Georgia McDonald, Caleb Wright
Revision number	05
Revision issue date	23/06/2022
Approved	Nick Ison
Reason for revision	LAHC Comments

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Fencing Strategy	05
Landscape Key Plan and Sections	06
Planting Palette and Schedule	07
Material Schedule	08
Typical landscape details	09

EXTENT OF WORKS

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023

Extent of works

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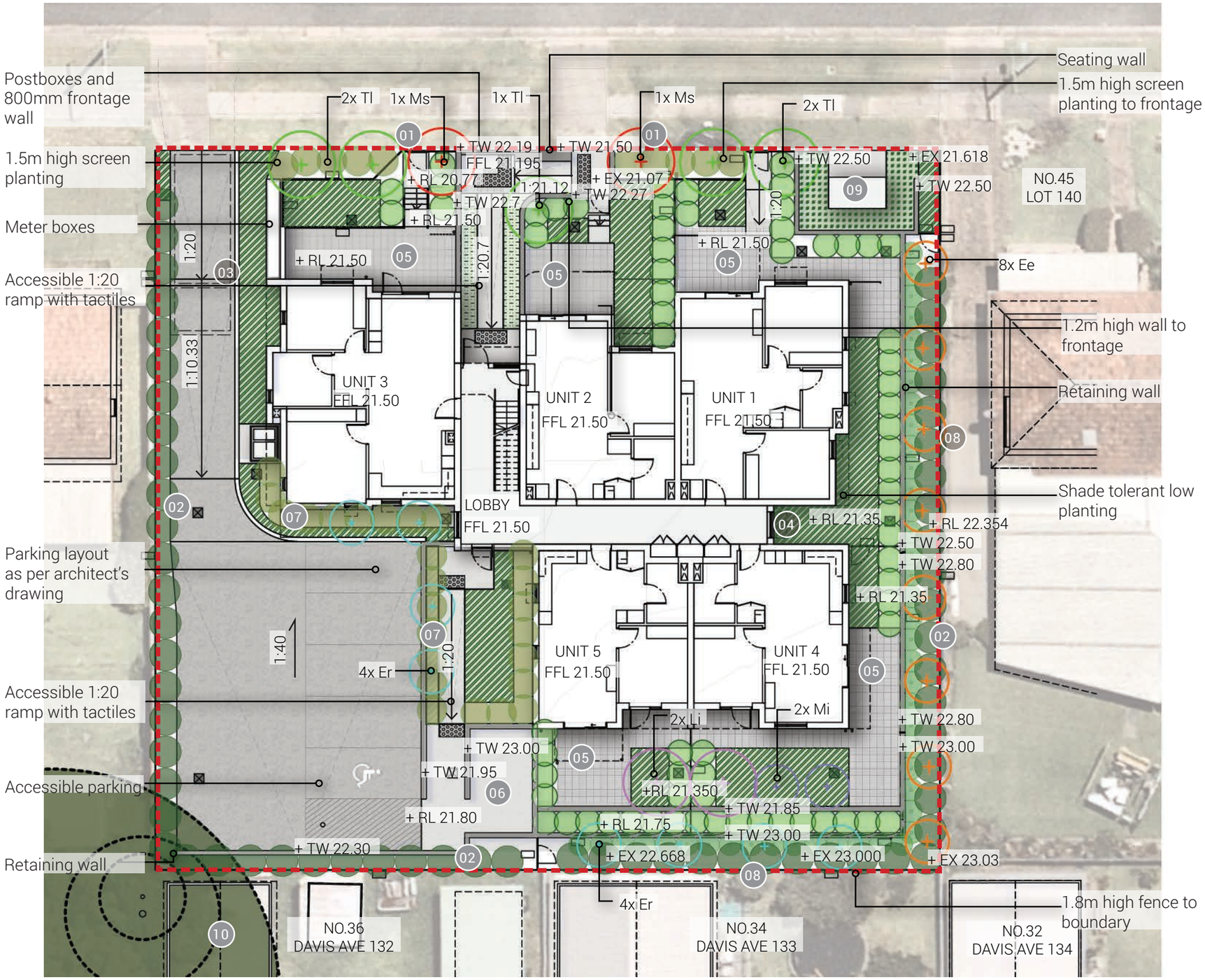
LANDSCAPE PLAN

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



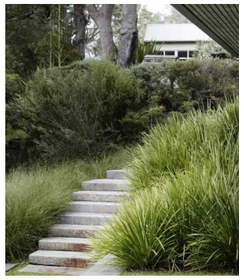
LEGEND:

- Extent of works
- Planting Mix 1
- Planting Mix 2
- Storm water pit
- Paver to courtyard
- Retaining wall
- *Syzygium australe*
- *Melaleuca* 'Claret Tops'
- *Callistemon viminalis*
- *Callistemon* 'White Anzac'
- *Myoporum parvifolium* (around substation)

Note: refer to page 6 for information on tree species. Mass planting not to obstruct path of gates.

NOTES:

01 Feature tree to frontage entry
02 2m high hedging along site boundary for privacy
03 OSD and rainwater tank below
04 Shade tolerant low planting
05 Paved private open space
06 New bin store location
07 Screen hedging to car park
08 Tree to boundary (Screening)
09 Potential substation location
10 Existing trees to be retained



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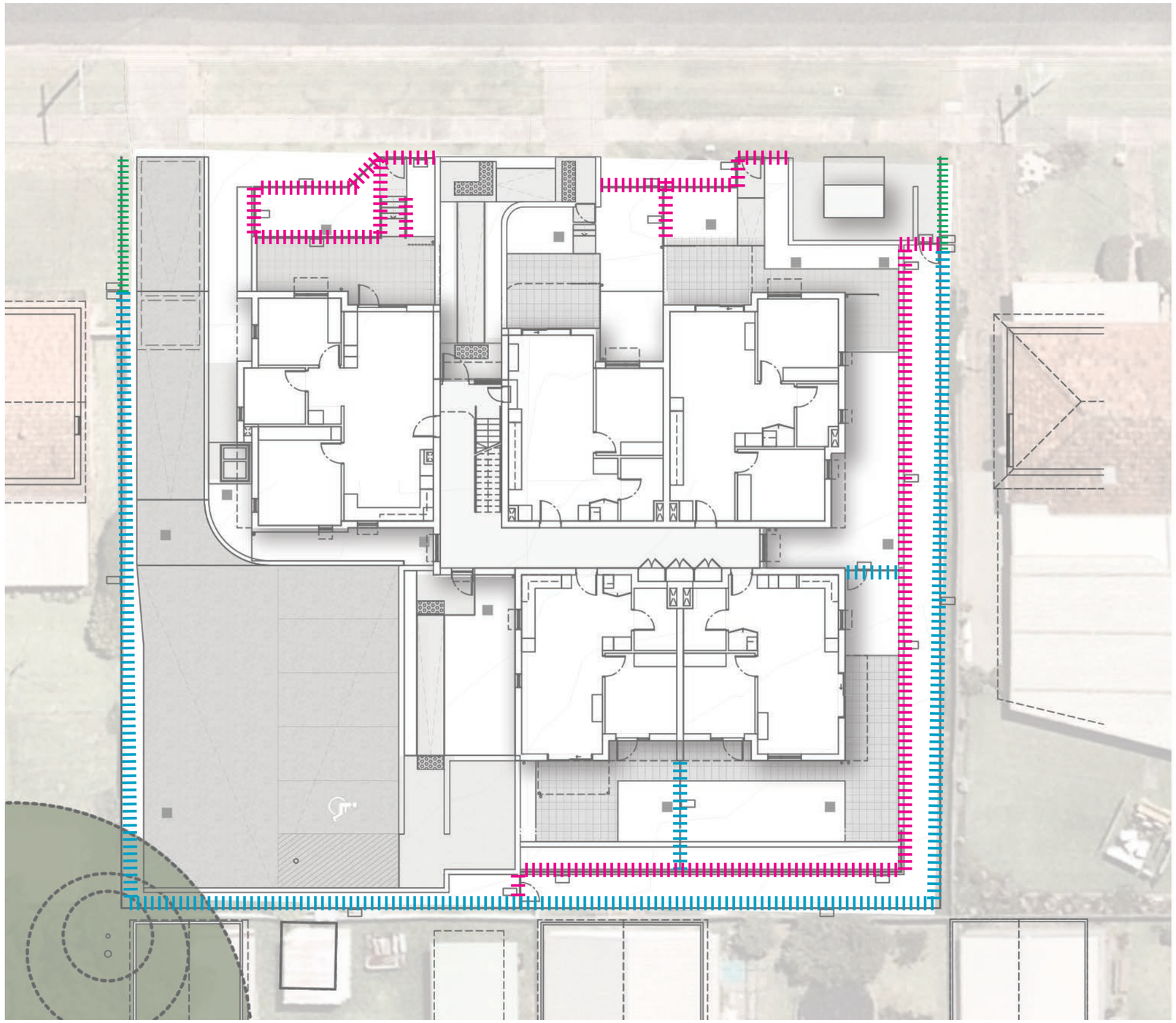
0 2 4 6 8 10M/ 1:200@A3

FENCING STRATEGY

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



LEGEND:

- Fence Type 1: Colorbond fence (1800mm)
- Fence Type 2: Aluminium palisade fence/gate (1200mm)
- Fence Type 3: Aluminium palisade fence (800mm)

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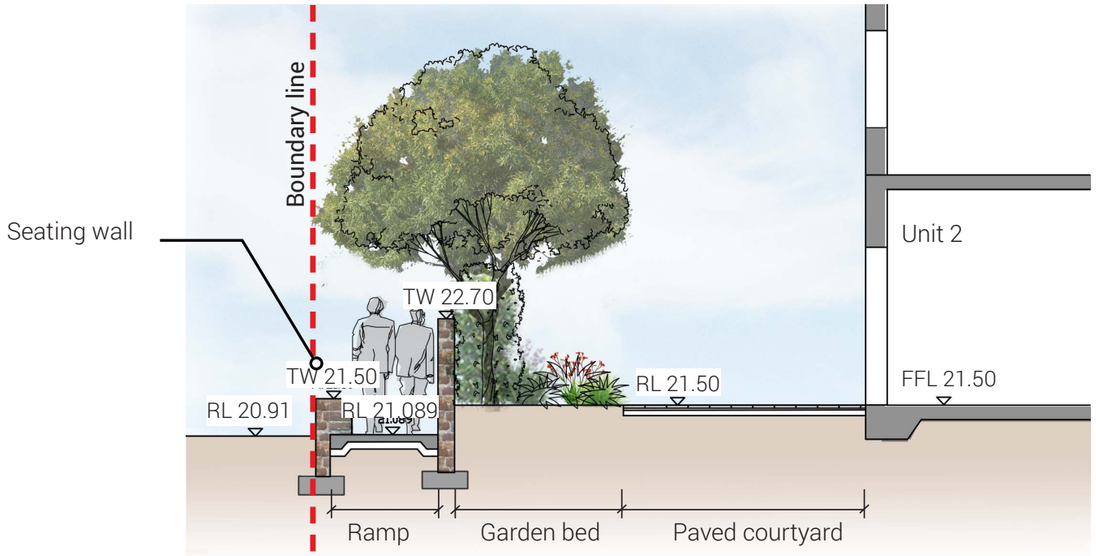
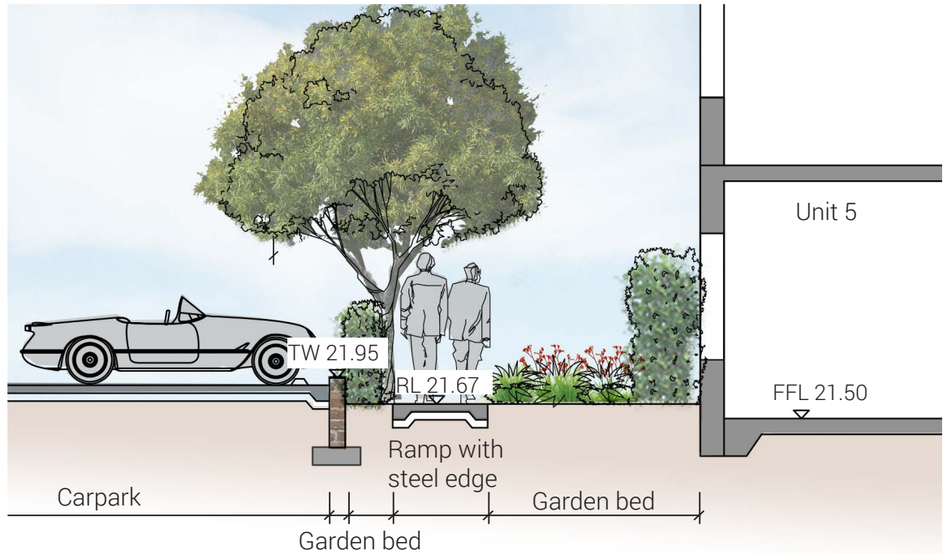
LANDSCAPE KEY PLAN AND SECTIONS

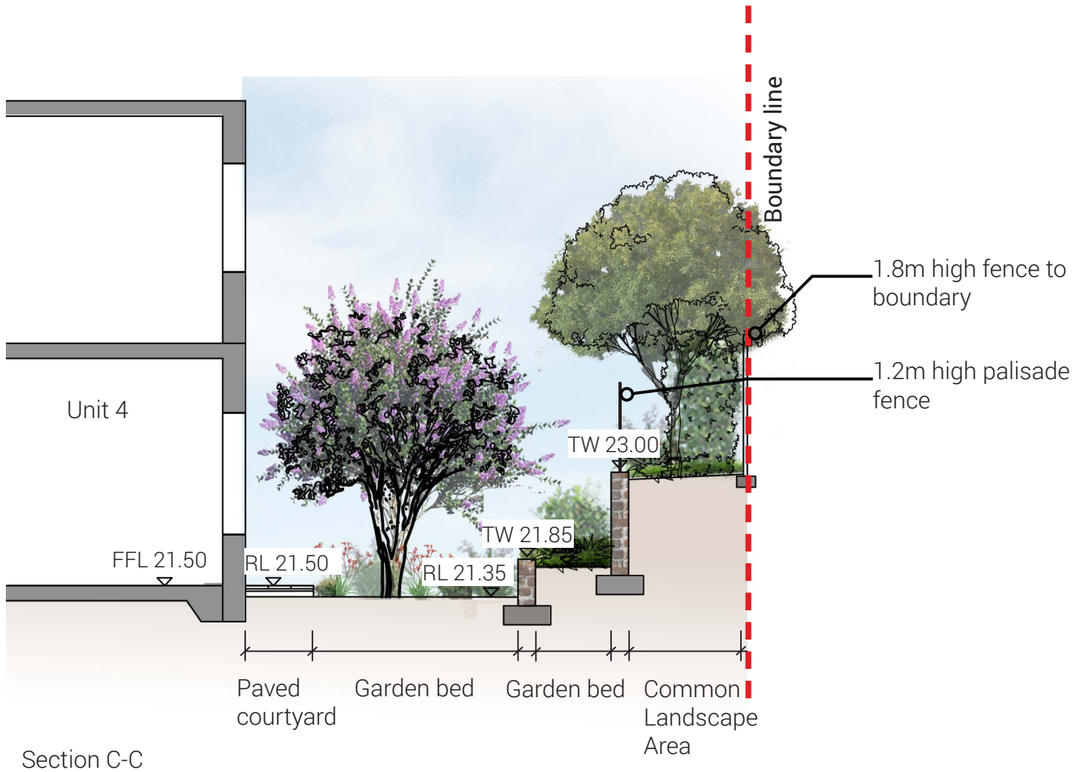
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



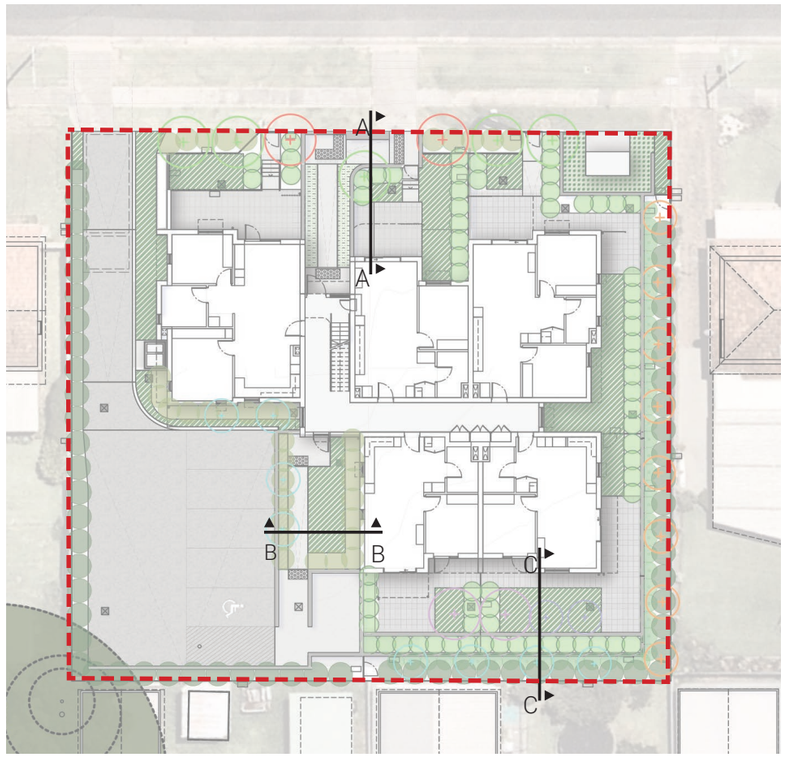
Section A-A



Section B-B



Section C-C



Key Plan

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NOT TO SCALE

PLANTING SCHEDULE

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023

LAHC_WALLSEND, CURRY STREET PLANTING SCHEDULE						
SYM	Botanical Name	Common Name	Mature Height	Pot Size	Spacing /m2	Quantity
TREES						
Ee	Elaeocarpus eumundi	Eumundi Quandong	10m	100L	As shown	8
Er	Elaeocarpus reticulatis 'Green Dream'	Blueberry Ash	3m	100L	As shown	8
Li	Lagerstroemia indica x fauriei 'Tuscarora'	Crepe Myrtle	6m	100L	As shown	2
Mi	Malus ioensis 'Plena'	Flowering Crab Apple	5m	100L	As shown	2
Ms	Melaleuca styphelioides	Prickly Paperbark	15m	100L	As shown	2
Tl	Tristaniopsis laurina 'Luscious'	Water Gum	12m	100L	As shown	5
SHRUBS						
Cv	Callistemon viminalis 'Captain Cook'	Weeping Bottlebrush	1.8m	150mm	As shown	35
Cwa	Callistemon 'White Anzac'	Bottlebrush 'White Anzac'	1m	150mm	As shown	44
Mct	Melaleuca 'Claret Tops'	Honey Myrtle	1m	150mm	As shown	69
Mp	Myoporum parvifolium	Boobialla	0.2m	150mm	1.5/linm	165
Sa	Syzygium australe	Brush Cherry	2m	200mm	As shown	62
Mix 1						
Clj	Callistemon 'Little John'	Bottlebrush 'Little John'	0.8m	150mm	6	11
Gt	Gazania tomentosa	Silver Leaf Gazania	0.2m	150mm	8	7
Lm	Liriope muscari 'Just Right'	Lilyturf	0.5m	150mm	6	11
Ll	Lomandra longifolia 'Tankia'	Mat Rush	0.6m	150mm	6	11
Od	Ozothamnus diosmifolius 'Coral Flush'	Rice Flower	1m	150mm	6	8
Pbb	Phormium 'Bronze Baby'	Dwarf New Zealand Flax	0.6m	150mm	6	8
Mix 2						
Dc	Dianella caerulea	Blue Flax-lily	1m	150mm	4	139
De	Doryanthes excelsa	Gymea Lily	2m	200mm	2	37
Lm	Liriope muscari 'Just Right'	Just Right	0.5m	150mm	6	208
Mp	Myoporum parvifolium	Boobialla	0.2m	150mm	8	149
Pp	Pandorea pandorana 'Flat White'	Wonga Wonga Vine	0.3m	150mm	8	149

TREES

Elaeocarpus eumundi

Tristaniopsis laurina 'Luscious'

Lagerstroemia indica x fauriei 'Tuscarora'

Elaeocarpus reticulatus 'Green Dream'

Malus ioensis 'Plena'

Melaleuca styphelioides

Shrubs - Hedging & Screening

Syzygium australe

Melaleuca 'Claret Tops'

Callistemon 'White Anzac'

Callistemon viminalis

Myoporum parvifolium

MIX 1 - Planting to entry

Liriope muscari 'Just Right'

Lomandra 'Tanika'

Ozothamnus diosmifolius 'Coral Flush'

Gazania tomentosa

Phormium 'Bronze Baby'

Callistemon 'Little John'

MIX 2 - Medium and low planting

Liriope muscari 'Just Right'

Pandorea pandorana 'Flat White'

Dianella caerulea

Doryanthes excelsa

Myoporum parvifolium

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MATERIAL SELECTION

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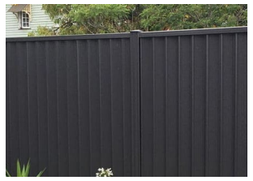
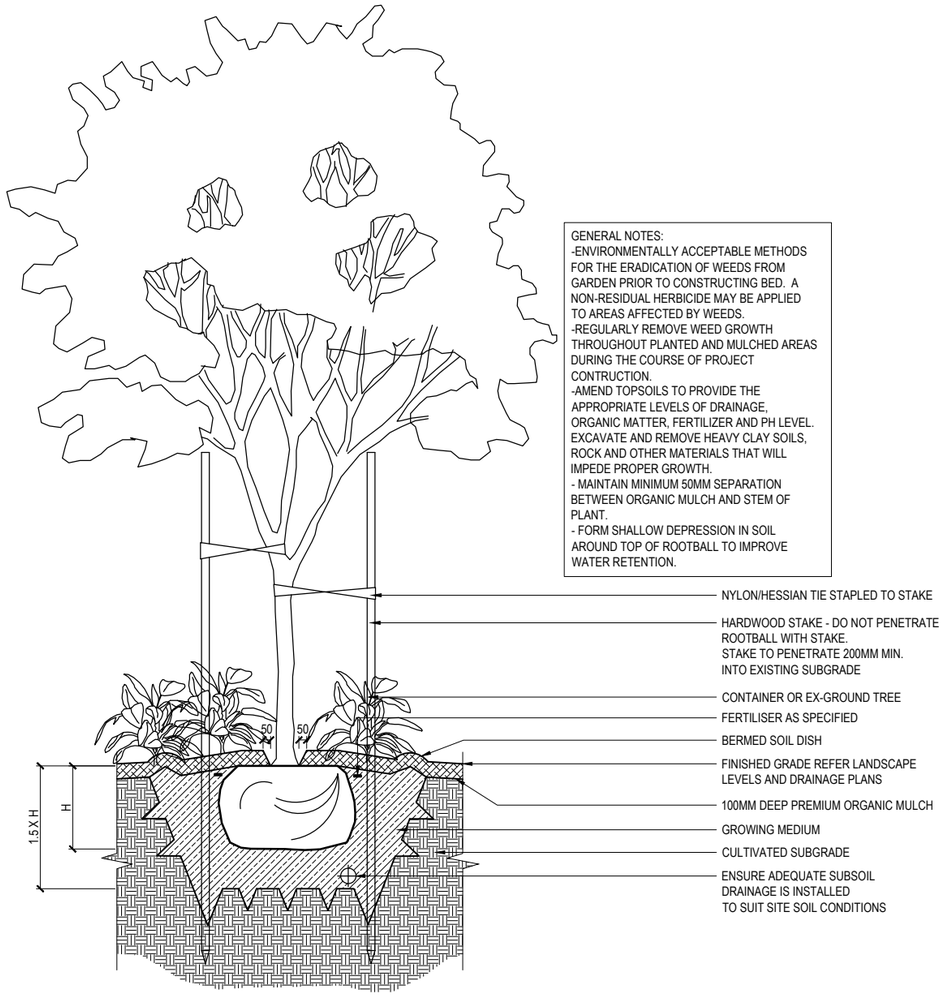
8 March 2023

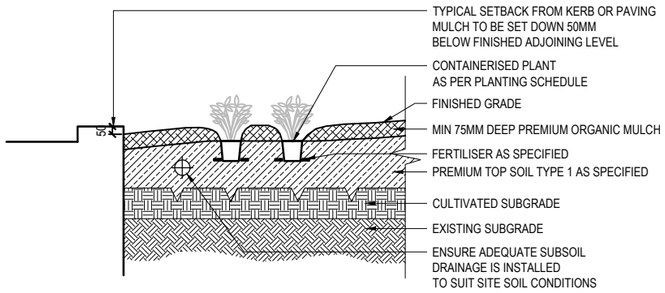
LAHC_CURRY STREET SELECTION SCHEDUL			
DESCRIPTION	**DIMENSIONS**	**SPECIFICATION**	**IMAGE**
FIXTURES AND FURNITURE			
FENCE TYPE 1	H: 1800mm	**Description**: Trimclad Colorbond steel fence **Panel dimension:** 2365mm L X 1800mm H **Color:** Monument grey **Fixing:** Refer to manufacture recommendation	
FENCE TYPE 2	H: 1200mm	**Description**: Vertica steel slate fence panel D**imension:** 1200mm high **Fixing:** Refer to manufacture recommendation **Colour:** TBC+A9:E12	
FENCE TYPE 3	H: 800mm	**Description**: Vertica steel slate fence panel D**imension:** 1800mm high **Fixing:** Refer to manufacture recommendation **Colour:** TBC	

TYPICAL LANDSCAPE DETAILS

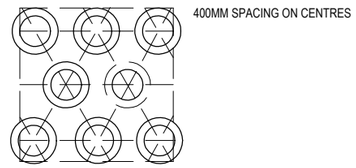
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



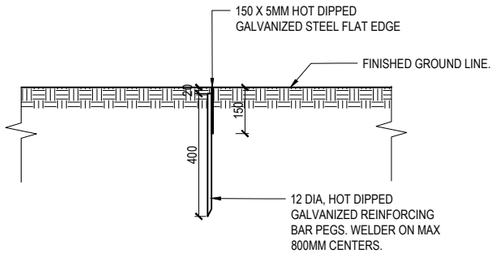
Detail 1: Tree Planting 1:40 @A3



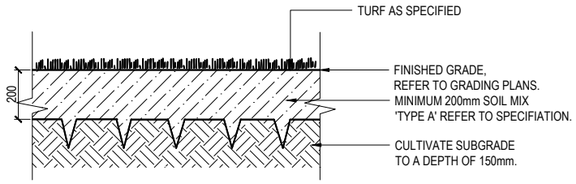
Detail 3: Mass Planting Detail 1:40 @A3



Mass Planting Layout Detail 1:40@A3



Detail 2: Steel Edge Detail 1:20 @A3



Detail 4: Typical Turf Detail 1:20 @A3

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DATE PLOTTED: 28 November 2022 1:59 PM BY : ROCCO LARIA

Cardno

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Web: www.cardno.com.au

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023

LAHC & SAMCRAWFORD ARCHITECTS

PROPOSED DEVELOPMENT AT 47-49 CURRY STREET WALLSEND 2287

COVER SHEET, LOCALITY PLAN AND SCHEDULE OF DRAWINGS

LOCALITY PLAN
N.T.S

SCHEDULE OF DRAWINGS	
DRAWING No.	DESCRIPTION
DISCIPLINE	
80822047-CI-0001	COVER SHEET, LOCALITY PLAN AND SCHEDULE OF DRAWINGS
80822047-CI-0002	CIVIL CONSTRUCTION NOTES
80822047-CI-1101	STORMWATER DRAINAGE PLAN GROUND FLOOR
80822047-CI-1102	CUT AND FILL PLAN
80822047-CI-1103	BULK EARTHWORK LEVEL
80822047-CI-1201	SEDIMENTATION AND EROSION CONTROL
80822047-CI-2101	STORMWATER DETAILS SHEET 1
80822047-CI-2102	STORMWATER DETAILS SHEET 2
80822047-CI-2103	STORMWATER DETAILS SHEET 3 OSD RAINWATER TANK DETAILS
80822047-CI-2201	SEDIMENTATION AND EROSION CONTROL DETAILS

INDICATIVE SITE COMPOUND

Rev.	Date	Description	Des.	Verif.	Appd.
5	28/11/2022	REVISED ISSUE FOR DA APPROVAL	A.L	P.L	M.R
4	1/06/2022	REVISED ISSUE	K.P.	C.F.	
3	4/04/2022	REVISED ISSUE FOR DA APPROVAL	K.P.	C.F.	
2	7/03/2022	ISSUE FOR DA APPROVAL	K.P.	C.F.	
1	10/02/2021	PRELIMINARY ISSUE	G.M.	K.P.	C.F.

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ACN 165 409 567 Nominated Architect Sam Crawford 6498

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Drawn G.M.	Date FEB' 2022	
Checked K.P.	Date FEB' 2022	
Designed G.M.	Date FEB' 2022	
Verified C.F.	Date FEB' 2022	
Approved		

Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Datum	Scale	Size
AHD	NTS	A1

Drawing Number: 80822047-CI-0001
Revision: 5

XREF's:
CAD File: \\cardno.corp\global\AU\NSW\Directory\Structure\Projects\808\FY22\047_47-49 Curry Street Wallsend\012_CIVIL\Drawings\Build\80822047-CI-0001.dwg

DETERMINED by the NSW Land and Housing Corporation on:

8 March 2023

DATE PLOTTED: 28 November 2022 1:59 PM BY : ROCCO LARIA

GENERAL CIVIL NOTES

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS, SPECIFICATIONS, STANDARDS, LOCAL GOVERNMENT ORDINANCES AND ADDITIONAL WRITTEN INSTRUCTIONS THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
2. THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR CIVIL ENGINEERING PURPOSES ONLY.
3. ALL DISCREPANCIES THAT COULD RESULT IN CHANGES TO THE CIVIL DETAILS SHALL BE REFERRED TO THE CIVIL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
   IF IN DOUBT ASK
4. THE CONTRACTOR SHALL CHECK AND BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE SUPERINTENDENT. DIMENSIONS SHALL NOT BE OBTAINED (INCLUSIVE OF ELECTRONIC COPIES) BY SCALING FROM THE DRAWINGS.
5. ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.
6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THE SAFETY AND STABILITY OF NEW AND EXISTING STRUCTURES, TEMPORARY STRUCTURES, EXCAVATIONS, SHORING AND THE LIKE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY EIGHT (48) HOURS BEFORE ANY SITE INSPECTION IS REQUIRED.
8. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT AUSTRALIAN STANDARDS AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION.
9. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH ALL WORKCOVER REQUIREMENTS AND OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS.
10. ALL PROPRIETARY PRODUCTS AND APPROVED EQUIVALENTS NOTED ON THE DRAWINGS SHALL BE SUPPLIED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
11. SUBSTITUTIONS OF NOMINATED PRODUCTS AND MATERIALS SHALL ONLY OCCUR IF APPROVED BY CARDNO. NO SUBSTITUTIONS SHALL BE MADE OR SIZES OF STRUCTURAL MEMBERS VARIED WITHOUT OBTAINING THE APPROVAL OF THE ENGINEER. THE APPROVAL OF A SUBSTITUTION FROM THE ENGINEER SHALL NOT BE AN AUTHORISATION FOR AN EXTRA EXPENSE CLAIM. ANY EXTRA COST INVOLVED SHALL BE TAKEN UP WITH THE SUPERINTENDENT BEFORE THE WORK COMMENCES.
12. NO CHANGES SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
13. CONSTRUCTION FROM THESE DRAWINGS AND ASSOCIATED CONSULTANTS' DRAWINGS SHALL NOT COMMENCE UNTIL APPROVED BY THE LOCAL AUTHORITIES AND PRINCIPAL CERTIFYING AUTHORITY.
14. CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS OR PROPERTIES WITHOUT THE PERMISSION OF THE OWNERS AND SUPERINTENDENT.
15. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL WHICH COMPLIES WITH AS1742.3 - 2018. A COPY OF THE PLAN SHOWING LAYOUT OF PROPOSED TRAFFIC CONTROL FOR THE COMMENCEMENT OF WORK AND CERTIFIED BY A SUITABLY QUALIFIED PERSON IS TO BE SUBMITTED TO COUNCIL PRIOR TO COMMENCEMENT OF ANY WORK. FURTHER PLANS ARE TO BE SUBMITTED IF WORK SITE ALTERS.
16. ANY QUANTITIES GIVEN ARE FOR GUIDANCE ONLY.

SITE PREPARATION

ROAD WORKS

1. REMOVE TOP SOIL, ROOT AFFECTED SOIL, FILL AND OTHER DELETERIOUS MATERIAL TO EXPOSE NATURAL SUBGRADE.
2. THE EXPOSED SUBGRADE SHOULD THEN BE PROOF ROLLED WITH AT LEAST EIGHT (8) PASSES OF A 10 TONNE MIN. DEAD WEIGHT ROLLER. ANY SOFT OR HEAVING AREAS SHOULD BE REMOVED TO A MAXIMUM DEPTH OF 300mm AND REPLACED WITH CLEAN WELL GRADED MATERIAL SUCH AS RIPPED OR CRUSHED SANDSTONE COMPACTED TO AT LEAST 100% OF STANDARD MAXIMUM DRY DENSITY (SMDD) AT ±2% OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH AS1289.
3. COMPACTED FILL SHOULD BE PLACED IN LAYERS NOT EXCEEDING 150mm THICK AND COMPACTED TO AT LEAST 100% SMDD. FILL SHALL CONSIST OF CLEAN WELL GRADED MATERIAL SUCH AS RIPPED OR CRUSHED SANDSTONE WITH A MIN. CBR OF 15%.
4. DENSITY TESTING SHALL BE CARRIED OUT TO LEVEL 2 CERTIFICATION IN ACCORDANCE WITH AS3798.
5. SUB-BASE COURSE - TO BE DGS20 OR DGS40 OR RIPPED OR CRUSHED SANDSTONE WITH A CBR GREATER THAN 40%, MAXIMUM PARTICLE SIZE OF 60mm, WELL GRADED WITH A PLASTIC INDEX LESS THAN 10. COMPACT TO AN AVERAGE OF NOT LESS THAN 100% SMDD WITH A MINIMUM VALUE OF 98% SMDD.
6. ALL KERBS TO BE FORMED BY KERB MACHINE AND NOT BY HAND.
7. EXTERNAL FOOTPATHS/PAVEMENTS
8. REMOVE TOP SOIL, ROOT AFFECTED SOIL, FILL AND OTHER DELETERIOUS MATERIAL TO EXPOSE NATURAL SUBGRADE.
9. THE EXPOSED SUBGRADE SHOULD BE PROOF ROLLED. ANY SOFT OR HEAVING AREAS SHOULD BE REPLACED WITH CLEAN WELL GRADED MATERIAL. FILL IF REQUIRED, SHOULD BE CLEAN AND WELL GRADED. COMPACT TO 100% SMDD.

STORMWATER DRAINAGE NOTES

1. STORMWATER DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH AS3500.3-2018.
2. PIPES Ø675mm AND LARGER SHALL BE CLASS 3 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS U.N.O. IN ACCORDANCE WITH AS/NZS3725-2007.
3. PIPES Ø375mm TO Ø600mm SHALL BE CLASS 2 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS U.N.O. IN ACCORDANCE WITH AS/NZS3725-2007.
4. PIPES UP TO AND INCLUDING Ø300mm SHALL BE uPVC DWV (GRADE CLASS SN8) U.N.O. IN ACCORDANCE WITH AS/NZS1260-2017. ENLARGERS, CONNECTIONS, TAPERS, JUNCTIONS ETC TO BE PREFABRICATED PURPOSE MADE FITTINGS WITH SOLVENT WELDED JOINTS.
5. SUBSOIL PIPES AND FITTINGS TO BE PERFORATED PLASTIC IN ACCORDANCE WITH AS2439.1-2007. LAY PIPES ON FLOOR OF TRENCH WITH MINIMUM 1% GRADE AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL.
6. HEAVY DUTY uPVC PIPES TO BE IN ACCORDANCE WITH AS/NZS1254-2010 MAY BE USED WITHIN ALLOTMENTS.
7. EQUIVALENT STRENGTH FIBROUS REINFORCED CONCRETE (F.R.C.) AND/OR HIGH DENSITY POLYETHYLENE (H.D.P.E.) MAY BE USED SUBJECT TO APPROVAL BY THE SUPERINTENDENT.
8. CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
9. ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH WITH NO PROTRUSIONS.
10. BEDDING MATERIAL SHALL BE TYPE H2 U.N.O. FOR PIPES NOT UNDER PAVEMENTS, AND TYPE HS2 FOR PIPES UNDER PAVEMENTS IN ACCORDANCE WITH AS/NZS3725-2007.
11. ALL PIPES ARE TO BE UNIFORMLY SUPPORTED ALONG THE LENGTH OF THE BARREL BY SUITABLE FILL MATERIAL. PIPES WITH SOCKETS SHALL BE LAID WITH RECESSES IN BEDDING MATERIAL TO ENSURE PIPES DO NOT BEAR ON THEIR SOCKETS.
12. MINIMUM GRADE TO STORMWATER LINES TO BE 1% U.N.O.
13. ANY PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS.
14. CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL.
15. PROVIDE 3m LENGTH OF Ø100mm SUBSOIL DRAINAGE LINE OR 200mm 'NYLEX' STRIP DRAIN SURROUNDED WITH 150mm OF 20mm BLUE METAL OR GRAVEL, AND WRAPPED IN 'BIDUM' A24 GEOTEXTILE FILTER FABRIC OR APPROVED EQUIVALENT, AT INVERT OF EACH INCOMING UPSTREAM PIPE TRENCH ON EACH PIT.
16. ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE uPVC PRESSURE PIPE GRADE 6. ENSURE ALL VERTICALS AND DOWNPIPES ARE uPVC PRESSURE PIPE, GRADE 6 FOR A MIN OF 3.0m IN HEIGHT.
17. WHERE SUBSOIL DRAINAGE LINES PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC DWV (GRADE CLASS SN8) PIPE SHALL BE USED.
18. UNLESS NOTED OTHERWISE ON THE PLANS, PROVIDE THE FOLLOWING MINIMUM COVER TO ALL STORMWATER PIPES:
    UNDER LANDSCAPE & PAVEMENT - 300mm
    UNDER ROAD (TRAFFIC) - 600mm
19. REFER TO AS/NZS3725-2007 TABLE B1 FOR REQUIRED FILL DEPTHS ABOVE PIPE BARREL PRIOR TO USE OF COMPACTION MACHINERY OR TRAVERSING OF PIPES BY GENERAL SITE EQUIPMENT. THE CONTRACTOR IS TO ENSURE COMPACTION EQUIPMENT IS APPROPRIATE FOR THE PIPE CLASS USED. WHERE WORKING METHODS REQUIRE HIGHER CLASS PIPE, THE CONTRACTOR SHALL REFER TO AS3725-2007 TO DETERMINE THE APPROPRIATE PIPE CLASS. PROPOSED CHANGES TO PIPE CLASS SHALL BE REVIEWED BY CARDNO PRIOR TO INSTALLATION.
18. BACKFILL PIPE TRENCHES WITH SANDY LOAM OR APPROVED GRANULAR BACKFILL TO MINIMUM COVER ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO PAVEMENT SUBGRADE WITH SAND OR APPROVED GRAVEL SUB-BASE COMPACTED IN 150mm LAYERS TO 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75).
19. FOR ALL IN-SITU CONCRETE ELEMENTS REFER TO CIVIL CONCRETE NOTES FOR CONCRETE STRENGTH AND COVER.
20. PRECAST CONCRETE PITS MAY BE INSTALLED IN LIEU OF CAST IN-SITU PITS, WHEN PIPE JUNCTIONS ARE ACCOMMODATED WITHIN THE OVERALL DIMENSIONS OF THE PIT, AND APPROVED BY CARDNO.
21. PITS DEEPER THAN 1200mm, MEASURED FROM TOP OF GRATE TO INVERT OF PIT, SHALL HAVE STEP IRONS INSTALLED IN ACCORDANCE WITH THE LOCAL OR STATUTORY AUTHORITY REQUIREMENTS.
22. ACCESS COVERS AND GRATES TO BE INSTALLED IN ACCORDANCE WITH AS3996-2019.
23. ALL GRATES IN PAVEMENTS TO BE CYCLE SAFE AND WHERE IN ROADWAYS TRAFFICABLE HEAVY DUTY.
24. ALL BOX CULVERTS SHALL BE STRUCTURALLY DESIGNED BY THE MANUFACTURER AND DELIVERED TO SITE AS FIT FOR PURPOSE.
25. AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.
26. ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.

EROSION AND SEDIMENT CONTROL NOTES

1. ALL WORKS SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
   a. LOCAL AUTHORITY REQUIREMENTS
   b. EPA REQUIREMENTS
   c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004 (THE BLUE BOOK).
2. EROSION AND SEDIMENT CONTROL DRAWINGS AND NOTES ARE PROVIDED FOR THE WHOLE OF THE WORKS. SHOULD THE CONTRACTOR STAGE THESE WORKS THEN THE DESIGN MAY REQUIRE TO BE MODIFIED. VARIATIONS TO THESE DETAILS MAY REQUIRE TO BE APPROVED BY THE RELEVANT AUTHORITIES. THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE IMPLEMENTED AND ADOPTED TO MEET THE VARYING SITUATIONS AS WORK ON SITE PROGRESSES.
3. MINIMISE THE AREA OF SITE BEING DISTURBED AT ANY ONE TIME.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION AND THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED OR AS OTHERWISE DIRECTED BY THE SUPERINTENDENT.
5. ALL SOIL AND WATER CONTROL MEASURES ARE TO BE PUT BACK IN PLACE AT THE END OF EACH WORKING DAY AND MODIFIED TO BEST SUIT SITE CONDITIONS.
6. PREVENT SITE RUNOFF ENTERING NEWLY CONSTRUCTED STORMWATER PITS UNLESS SEDIMENT FENCES ARE ERECTED AROUND THEM.
7. MAINTAIN ALL STORMWATER PIPES AND PITS CLEAR OF DEBRIS AND SEDIMENT. INSPECT STORMWATER SYSTEM AND CLEAN OUT AS REQUIRED PARTICULARLY FOLLOWING EACH STORM EVENTS.
8. MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES, ENSURING THEY ARE IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED PARTICULARLY FOLLOWING EACH STORM EVENTS.
9. WHERE PRACTICAL, THE SOIL EROSION HAZARDS ON THE SITE ARE TO BE KEPT AS LOW AS POSSIBLE AND WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE TO MINIMISE THE RISKS:
   a. INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
   b. CONSTRUCT STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA AT THE LOCATION SHOWN ON THE DRAWINGS OR AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
   c. INSTALL ANY SEDIMENT BASINS AND SEDIMENT TRAPS AS SHOWN ON DRAWINGS. REFER DETAIL.
   d. UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.
10. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
11. CONTROL WATER FROM UPSTREAM OF THE SITE SUCH THAT IT DOES NOT ENTER THE DISTURBED SITE.
12. ALL CONSTRUCTION VEHICLES SHALL ENTER THE SITE VIA THE TEMPORARY CONSTRUCTION ENTRY/EXIT.
13. ALL VEHICLES LEAVING THE SITE SHALL BE CLEANED AND INSPECTED BEFORE LEAVING.
14. STOCKPILES ARE NOT TO BE LOCATED IN ROADWAYS, WITHIN 2 METRES OF HAZARD AREAS OR DRAINAGE PITS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE SCOUR AND EROSION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
15. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
16. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE OR DEVICE.
17. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.
18. ACCEPTABLE RECEPTACLES WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHTWEIGHT WASTE MATERIALS AND LITTER.
19. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:
   a. PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE
   b. ENSURING THAT NOTHING IS NAILED TO THEM
   c. PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS.
   d. ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICH EVER IS THE GREATER
   e. A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300mm DEPTH
   f. CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.
20. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.
21. ANY REVEGETATED AREAS WHICH FAIL TO ESTABLISH WITHIN THREE MONTHS MUST BE RE-SOWN.

CONCRETE NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND AS1379 CURRENT EDITIONS WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
2. FOR CONCRETE MIX DESIGN & COVER SUMMARY REFER TO TABLE C1.1 BELOW. ALL CEMENT TO BE TYPE 'GP' GENERAL PURPOSE CEMENT IN ACCORDANCE WITH AS3972-2010, EXCEPT THAT THE MAXIMUM SHRINKAGE OF THE CEMENT IN THE MORTAR TEST SAMPLE IN ACCORDANCE WITH AS2350 SHALL BE LESS THAN 600 MICROSTRAIN.
3. PROJECT ASSESSMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1379-2007 CLAUSE B7:
   a) ALL CONCRETE IN SLABS AND BEAMS TO BE PROPORTIONED TO LIMIT DRYING SHRINKAGE TO 650 MICROSTRAIN AT 56 DAYS.
   b) DETAILS OF THE PROPOSED MIX TO BE SUBMITTED AND APPROVAL OBTAINED PRIOR TO POURING ANY CONCRETE.
4. NO ADMIXTURES OTHER THAN THOSE SPECIFIED IN THE CONCRETE QUALITY & COVER SUMMARY TABLE C1.1 (OR APPROVED EQUIVALENTS) SHALL BE USED IN CONCRETE UNLESS APPROVED BY THE ENGINEER, WITH THE ONLY EXCEPTION BEING LOW RANGE WATER REDUCING ADMIXTURE.
5. CLEAR CONCRETE COVER TO REINFORCEMENT SHALL BE IN ACCORDANCE WITH CONCRETE QUALITY & COVER TABLE C1.1.
6. CONSTRUCTION JOINTS, WHERE NOT SHOWN, SHALL BE LOCATED TO THE APPROVAL OF THE STRUCTURAL ENGINEER.
7. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED TO ACHIEVE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED WITH MECHANICAL VIBRATORS.
8. CURING OF ALL CONCRETE IS TO BE ACHIEVED BY KEEPING SURFACES CONTINUOUSLY WET FOR A PERIOD OF THREE (3) DAYS, AND THE PREVENTION OF LOSS OF MOISTURE FOR A TOTAL OF SEVEN (7) DAYS FOLLOWED BY A GRADUAL DRYING OUT. APPROVED SPRAY ON CURING COMPOUNDS THAT COMPLY WITH AS3799 MAY BE USED WHERE FLOOR FINISHES WILL NOT BE AFFECTED (REFER MANUFACTURERS SPECIFICATION). PVA BASED CURING COMPOUNDS ARE NOT ACCEPTABLE. POLYTHENE SHEETING OR WET HESSIAN MAY BE USED IF PROTECTED FROM WIND AND TRAFFIC.
9. REPAIRS TO CONCRETE SHALL NOT BE ATTEMPTED WITHOUT THE PERMISSION OF THE ENGINEER.
10. CAST-IN FIXINGS, BOLTS ETC. SHALL NOT BE ALTERED WITHOUT THE PERMISSION OF THE

CONCRETE MIX DESIGN & COVER - TABLE C1.1

MIN. CEMENT CONTENT = 300 kg/m³
MAX. PERMISSIBLE DRYING SHRINKAGE = 600 MICROSTRAIN AT 56 DAYS

STRUCTURAL ELEMENT	SLUMP (MAX)	MAX. AGG. SIZE	CEMENT TYPE	STRENGTH GRADE	ADMIXTURE	REBAR COVER	
						TOP	BTM
STORMWATER PITS	80	Ø20mm	GP	32MPa	-	40	40
KERBING	80	Ø20mm	GP	32MPa	-	40	40
SLABS ON GROUND	80	Ø20mm	GP	32MPa	-	40	40
BORED PIERS	80	Ø20mm	GP	32MPa	-	50	
STRIP FOOTINGS	80	Ø20mm	GP	32MPa	-	50	
BLOCK WALL CORE GROUT FILLING (UNO)	230	Ø10mm	GP	25MPa	-	65	

Rev.	Date	Description	Des.	Verif.	Appd.
5	28/11/2022	REVISED ISSUE FOR DA APPROVAL	A.L	P.L	M.R
4	1/06/2022	REVISED ISSUE	K.P.	C.F.	
3	4/04/2022	REVISED ISSUE FOR DA APPROVAL	K.P.	C.F.	
2	7/03/2022	ISSUE FOR DA APPROVAL	K.P.	C.F.	
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Checked	K.P.	FEB' 2022
Designed	K.P.	FEB' 2022
Verified	C.F.	FEB' 2022
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS

Project: PROPOSED DEVELOPMENT AT
47-49 CURRY STREET
WALLSEND 2287

Title: CIVIL CONSTRUCTION NOTES

Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

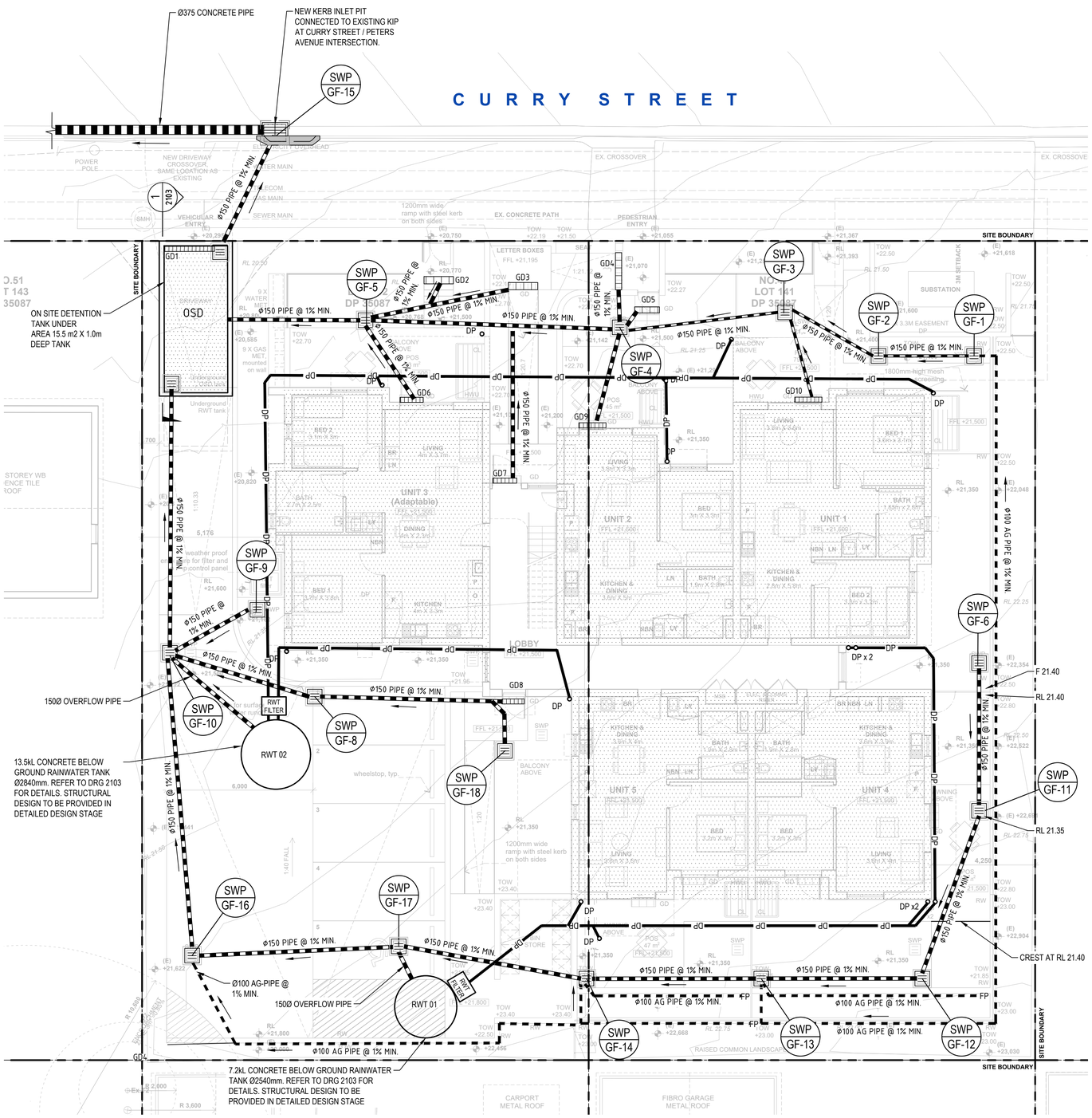
Datum	Scale	Size
AHD	N/A	A1

Drawing Number: 80822047-CI-0002
Revision: 5

XREFS:
CAD File: \\cardno.com\global\AU\NSW\Directory\Structure\Projects\808\FY22\047_47-49 Curry Street Wallsend\012_CIVIL\Drawings\Build\80822047-CI-0002.dwg

DATE PLOTTED: 28 November 2022 1:59 PM BY : ROCCO LARIA

DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



LEGEND

DP	DP - DOWN PIPE Ø100
PBD	PBD - PLANTER BED DRAIN Ø100
	OSD TANK
	STORMWATER PIT
	SEALED ACCESS PIT
DP	DOWN PIPE
	STORMWATER PIPE
GD	GRATED DRAIN

NOTE:
- LEGEND NOT TO SCALE

STORMWATER PIT SCHEDULE

SWP No.	PIT COVER LEVEL RL.	PIT INVERT LEVEL IL.	DEPTH (mm)	INTERNAL PIT SIZE	PIT TYPE	COVER TYPE	COVER CLASS	REMARKS
GF-1	21.6	21.15	450	450X450	SIP	GRATE	B	
GF-2	21.55	21.10	450	450 x 450	SIP	GRATE	B	
GF-3	21.4	20.95	450	450X450	SIP	GRATE	B	
GF-4	21.4	20.88	520	450 x 450	SIP	GRATE	B	
GF-5	21.4	20.78	620	600 x 600	SIP	GRATE	B	
GF-6	21.93	21.48	450	450 x 450	SIP	GRATE	B	
GF-8	21.5	20.94	560	450 x 450	SIP	GRATE	B	
GF-9	21.4	20.82	580	600X600	SIP	GRATE	B	
GF-10	21.5	20.49	1010	900 x 900	SIP	GRATE	C	
GF-11	21.30	20.90	450	450X450	SIP	GRATE	B	
GF-12	21.30	20.65	650	600X600	SIP	GRATE	B	
GF-13	21.30	20.74	560	450X450	SIP	GRATE	B	
GF-14	21.8	20.61	1191	900X900	SIP	GRATE	C	
GF-15	19.85	18.80	1050	900X450	KIP	GRATE	D	
GF-16	21.30	20.74	560	450X450	SIP	GRATE	B	
GF-17	21.85	20.57	1280	900X900	SIP	GRATE	B	
GF-18	21.30	20.90	400	450X450	SIP	GRATE	B	

0 1 2 4 6 8 10m
SCALE 1:100 @A1

Rev.	Date	Description	Des.	Verif.	Appd.
6	28/11/2022	REVISED ISSUE FOR DA APPROVAL	A.L	P.L	M.R
5	1/06/2022	REVISED ISSUE	K.P.	C.F.	
4	26/05/2022	REVISED ARCHITECTURAL BACKGROUND	K.P.	C.F.	
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Designed	K.P.	FEB' 2022
Verified	C.F.	FEB' 2022
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS
Project: PROPOSED DEVELOPMENT AT 47-49 CURRY STREET WALLSEND 2287
Title: STORMWATER DRAINAGE PLAN GROUND FLOOR

Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

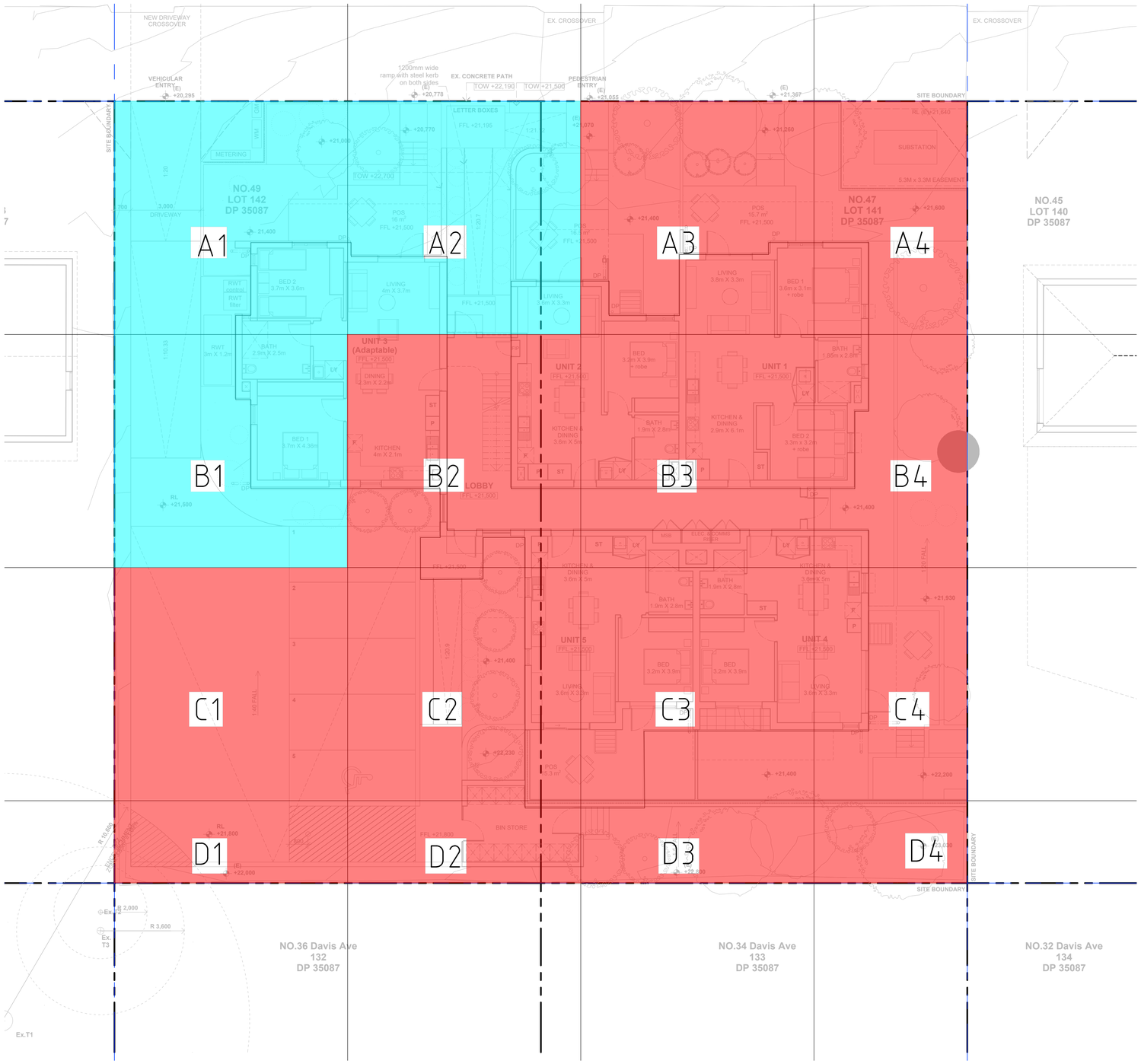
Datum	Scale	Size
AHD	1:100	A1

Drawing Number: 80822047-CI-1101
Revision: 6

XREF's: X-GROUND FLOOR
CAD File: \\cardno.com\global\AUNSW\Directory\Structure\Projects\908\FY22\047_47-49 Curry Street Wallsend\012_CIV\Drawings\Build\80822047-CI-1101.dwg

DETERMINED by the NSW Land and Housing Corporation on: 8 March 2023

DATE PLOTTED: 28 November 2022 2:00 PM BY : ROCCO LARIA



CUT AND FILL PLAN

SCALE 1:100

0 1 2 4 6 8 10m

SCALE 1:100 @A1

XREFs: X-GROUND FLOOR, X-GROUND FLOOR_ CUT AND FILL

CAD File: \\cardno.corp\global\AU\NSW\Directory\Structure\Projects\808\FY22\047_47-49 Curry Street Wallsend\012_CIVIL\Drawings\Build\80822047-CI-1102.dwg

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Checked K.P.	Date MAR'2022	
Designed K.P.	Date MAR'2022	
Verified C.F.	Date MAR'2022	
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS

Project: PROPOSED DEVELOPMENT AT 47-49 CURRY STREET WALLSEND 2287

Title: CUT AND FILL PLAN

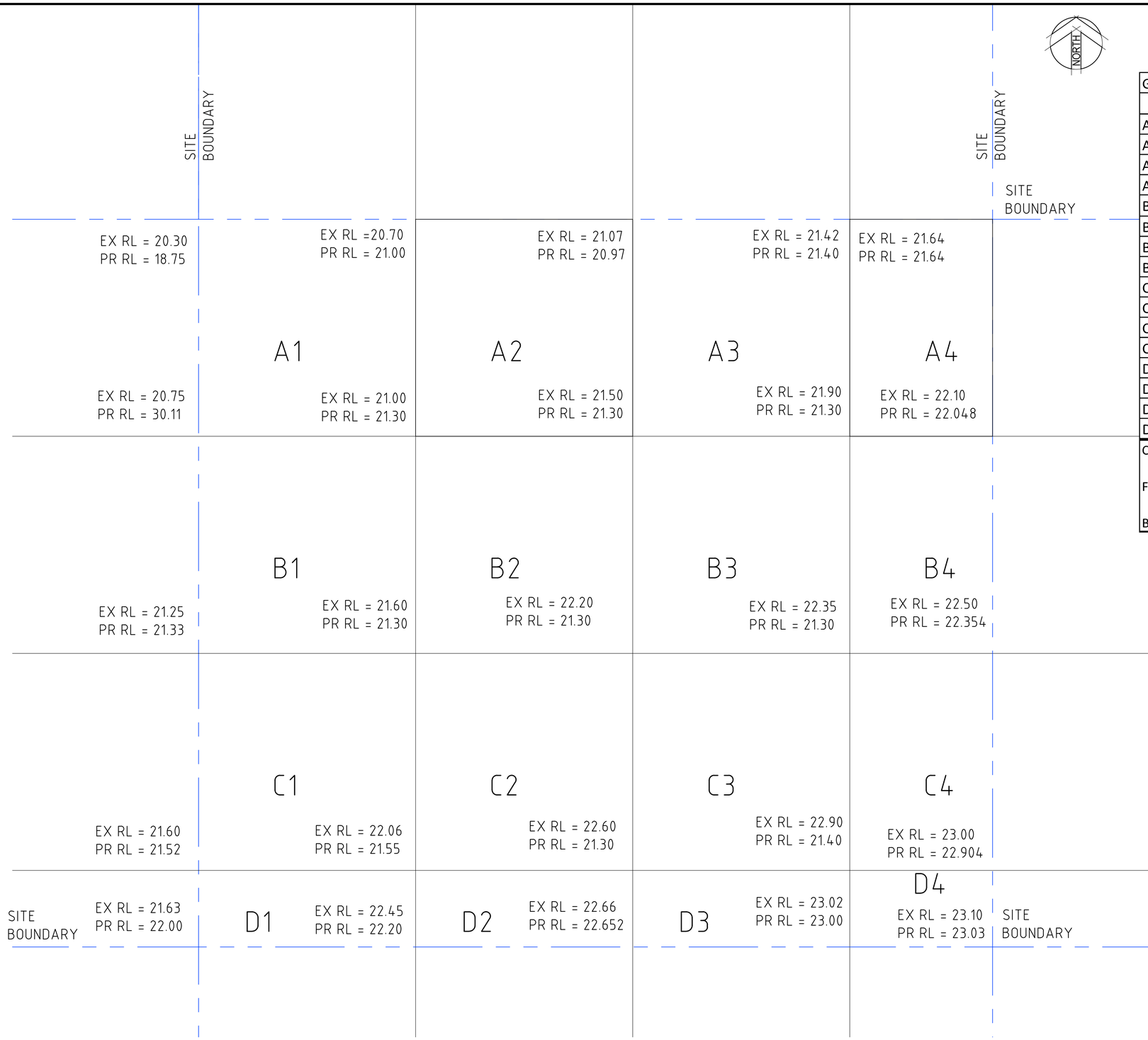
Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Datum	Scale	Size
AHD	1:100	A1

Drawing Number: 80822047-CI-1102

Revision: 3

DETERMINED by the NSW Land and Housing Corporation on: 8 March 2023



GRID	AVG EX	AVG PR	AVG DEPTH	CELL AREA	CELLL VOLUME	
	m	m	PR-EX	m2	m3	
A1	20.6875	22.79	2.1025	100	210.25	FILL
A2	21.0675	21.1425	0.075	100	7.5	FILL
A3	21.4725	21.2425	-0.23	100	-23	CUT
A4	21.765	21.597	-0.168	65.76	-11.04768	CUT
B1	21.15	23.51	2.36	100	236	FILL
B2	21.575	21.3	-0.275	100	-27.5	CUT
B3	21.9875	21.3	-0.6875	100	-68.75	CUT
B4	22.2125	21.7505	-0.462	65.76	-30.38112	FILL
C1	21.6275	21.425	-0.2025	100	-20.25	CUT
C2	22.115	21.3625	-0.7525	100	-75.25	CUT
C3	22.5125	21.325	-1.1875	100	-118.75	CUT
C4	22.6875	21.9895	-0.698	65.76	-45.90048	CUT
D1	21.935	21.8175	-0.1175	35.28	-4.1454	CUT
D2	22.4425	21.9255	-0.517	35	-18.095	CUT
D3	22.795	22.088	-0.707	35.28	-24.94296	CUT
D4	23.005	22.5835	-0.4215	23.2	-9.7788	CUT

CUT VOLUME =	-477.791 m3	
FILL VOLUME =	453.75 m3	
BAL =	-24.0414 m3	CUT REQUIRED

BULK EARTHWORK LEVEL

SCALE 1:100

0 1 2 4 6 8 10m
SCALE 1:100 @A1

Rev.	Date	Description	Des.	Verif.	Appd.
3	28/11/2022	REVISED ISSUE FOR DA APPROVAL	A.L	P.L	M.R
2	1/06/2022	REVISED ISSUE	K.P.	C.F.	
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Checked K.P.	Date MAR'2022	
Designed K.P.	Date MAR'2022	
Verified C.F.	Date MAR'2022	
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS

Project: PROPOSED DEVELOPMENT AT
47-49 CURRY STREET
WALLSEND 2287

Title: BULK EARTHWORK LEVEL

Status: FOR APPROVAL
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Datum	Scale	Size
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Revision: 3

DATE PLOTTED: 28 November 2022 2:00 PM BY : ROCCO LARIA
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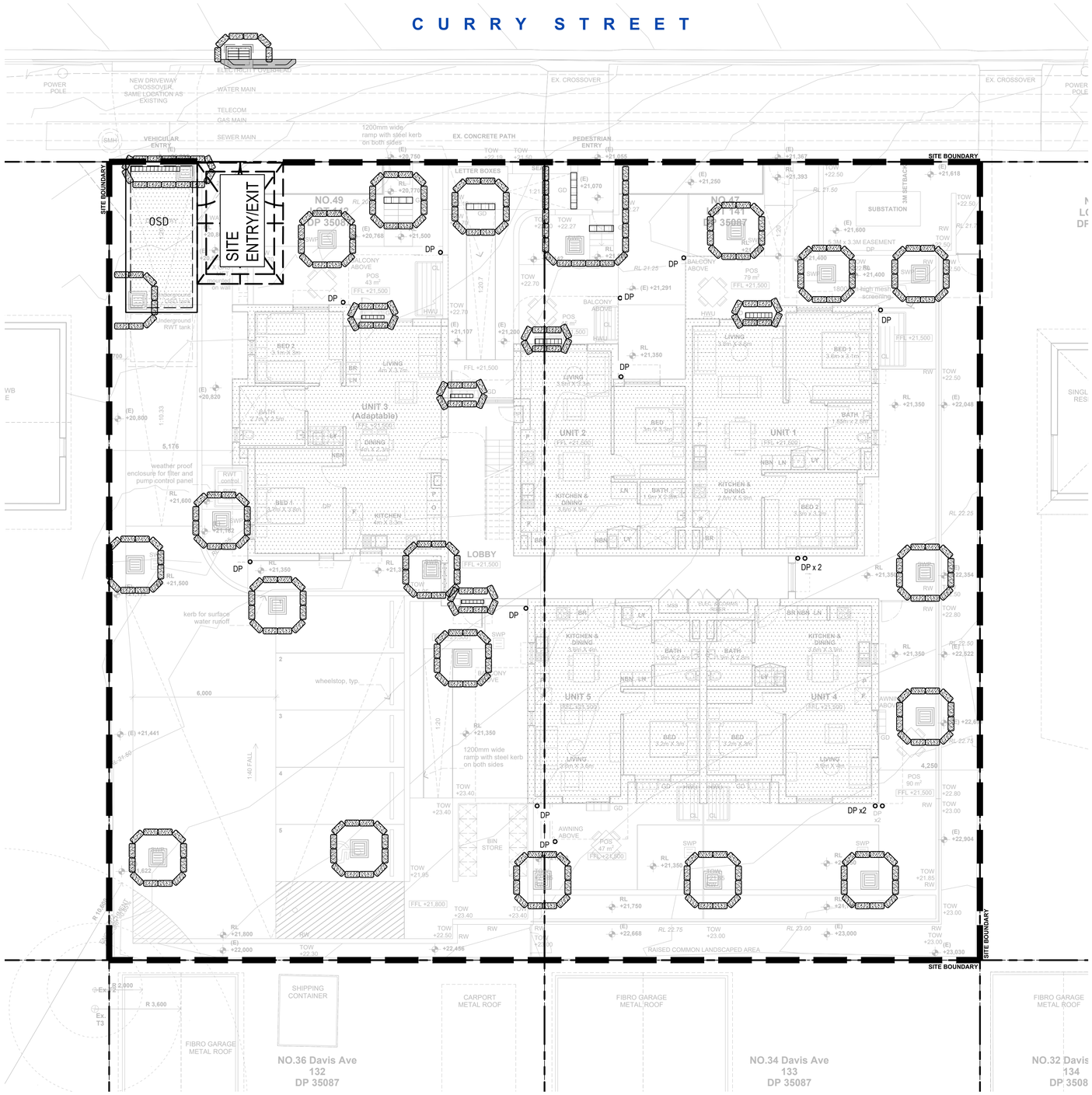
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



LEGEND

- SITE FENCE
- SILT FENCE
- STORMWATER PIT
- SEALED ACCESS PIT
- SILT TRAP/SAND BAGS
- A — TEMPORARY SURFACE INLET SEDIMENT TRAP OR GROSS POLLUTANT TRAP
- TEMPORARY CONSTRUCTION VEHICLE ENTRY/EXIT

NOTE

SITE ACCESS AND STOCKPILE LOCATION MAY CHANGE DEPENDING ON CONSTRUCTION PREFERENCE

FOR SEDIMENTATION AND EROSION CONTROL DETAILS REFER TO DRAWING 80822047-CI-2201.

THIS LAYOUT PRESENTS ONE OF A NUMBER OF POSSIBLE SOLUTIONS FOR THE EROSION AND SEDIMENTATION CONTROL ON THE SITE DURING THE CONSTRUCTION PERIOD. FINAL LAYOUT MAY BE ALTERED BY THE CONTRACTOR TO SUIT THEIR SITE LAYOUT, OPERATIONS SEQUENCE, STAGING ETC. ANY SUCH CHANGES MUST BE IN ACCORDANCE WITH THE GUIDELINES OF LANDCOM MANAGING URBAN STORMWATER MANUAL. 2004 (" BLUE BOOK")
SHOULD THE STRIPPED AREA AT ANY STAGE EXCEED 2500 m², SEDIMENTATION POND INCL. ASSOCIATED BERMS, CUT OFF TRENCHES ETC. IS TO BE PROVIDED IN ACCORDANCE WITH THE GUIDELINES OF LANDCOM MANAGING URBAN STORMWATER MANUAL.

0 1 2 4 6 8 10m
SCALE 1:100 @A1

Rev.	Date	Description	Des.	Verif.	Appd.
6	28/11/2022	REVISED ISSUE FOR DA APPROVAL	A.L	P.L	M.R
5	1/06/2022	REVISED ISSUE	K.P.	C.F.	
4	26/05/2022	REVISED ARCHITECTURAL BACKGROUND	K.P.	C.F.	
3	4/04/2022	REVISED ISSUE FOR DA APPROVAL	K.P.	C.F.	
2	7/03/2022	ISSUE FOR DA APPROVAL	K.P.	C.F.	
1	10/02/2021	PRELIMINARY ISSUE	G.M.	K.P.	C.F.

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ACN 165 409 567 Nominated Architect Sam Crawford 6498

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		Date
Drawn	G.M.	FEB' 2022
Checked	K.P.	FEB' 2022
Designed	G.M.	FEB' 2022
Verified	C.F.	FEB' 2022
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS

Project: PROPOSED DEVELOPMENT AT
47-49 CURRY STREET
WALLSEND 2287

Title: SEDIMENTATION AND EROSION CONTROL

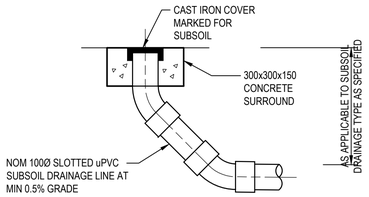
Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Datum	Scale	Size
AHD	1:100	A1

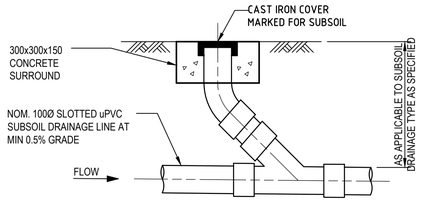
Drawing Number: 80822047-CI-1201
Revision: 6

DATE PLOTTED: 28 November 2022 2:00 PM BY : ROCCO LARIA
XREF's: X-GROUND FLOOR
CAD File: \\cardno.corp\global\AU\NSW\Directory\Structure\Projects\808\FY22\047_47-49 Curry Street Wallsend\012_CIVIL\Drawings\Build\80822047-CI-1201.dwg

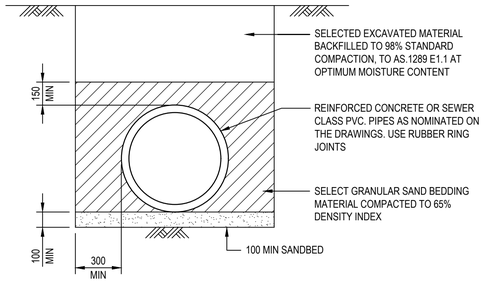
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



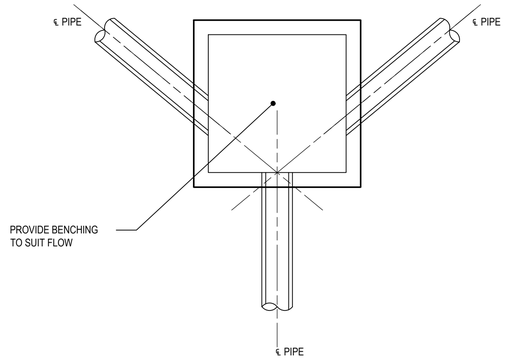
HIGH END RISER
N.T.S.



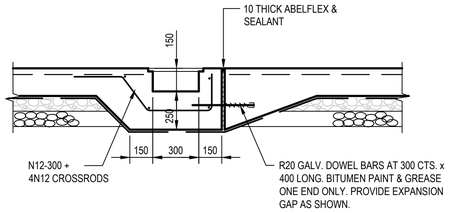
INTERMEDIATE RISER
N.T.S.
(TYPICAL AT 25m. INTERVALS UNLESS OTHERWISE NOTED ON PLAN)



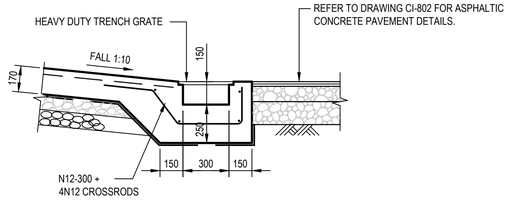
TYPICAL PIPE LAYING DETAIL U.N.O.
NOTE:
ALLOW TO BUILD 100Ø AG. DRAIN IN THE LAST 3.0m OF DRAINAGE PIPE, UPSTREAM OF ALL DRAINAGE PIPES.



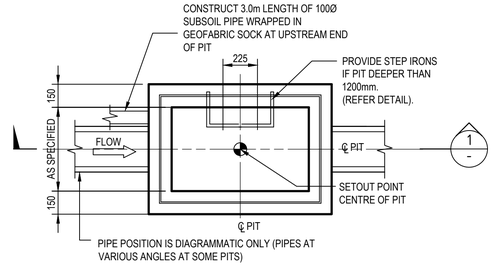
JUNCTION PIT SET OUT DETAILS
N.T.S



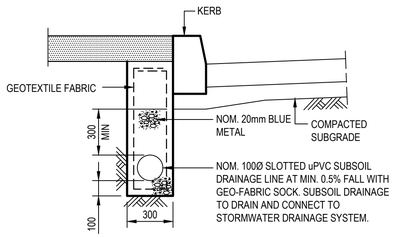
GRATED DRAIN DETAIL
SCALE 1:20



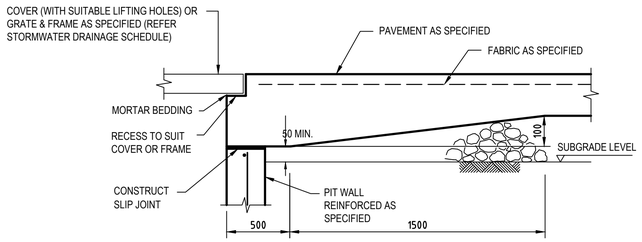
GRATED DRAIN DETAIL AT ENTRY ROAD
SCALE 1:20



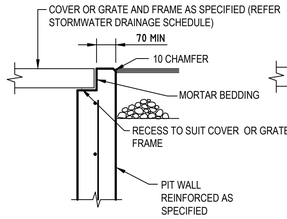
PLAN
NTS



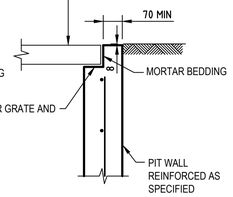
SUBSOIL DRAINAGE LINE IN LANDSCAPED AREAS ADJACENT TO ROADS



DETAIL "A"
N.T.S

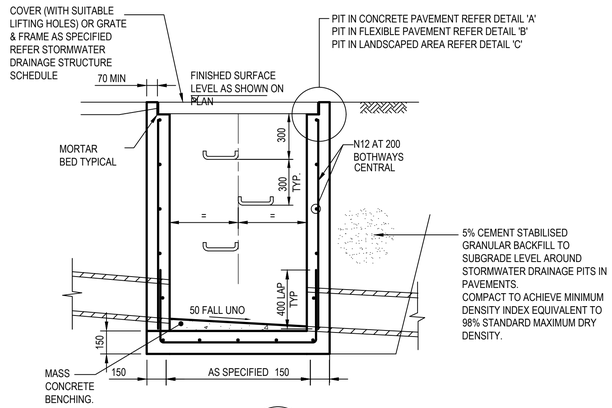


DETAIL "B"
SCALE 1:10



DETAIL "C"
SCALE 1:10

PIT EDGE TREATMENT FOR STORMWATER DRAINAGE AND OTHER SERVICES PITS IN ROAD PAVEMENTS AND LANDSCAPED AREAS



SECTION 1 -
SCALE 1:20

SURFACE INLET/JUNCTION PIT (SIP/JP)

0 0.5 1 1.5 2m
SCALE 1:20 @A1

0 0.2 0.4 0.6 0.8 1m
SCALE 1:10 @A1

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Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS
Project: PROPOSED DEVELOPMENT AT 47-49 CURRY STREET WALLSEND 2287
Title: STORMWATER DETAILS SHEET 1

Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

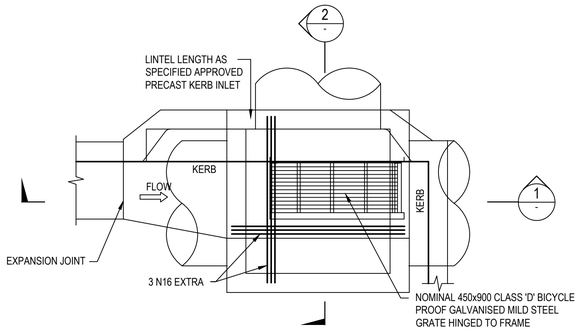
Datum	Scale	Size
AHD	AS SHOWN	A1

Drawing Number: 80822047-CI-2101
Revision: 5

DATE PLOTTED: 28 November 2022 2:00 PM BY : ROCCO LARIA
XREF's:
CAD File: \\cardno.corp\global\AU\NSW\Directory\Structure\Projects\808\FY22\047_47-49 Curry Street Wallsend\012_CIVIL\Drawings\Build\80822047-CI-2101.dwg

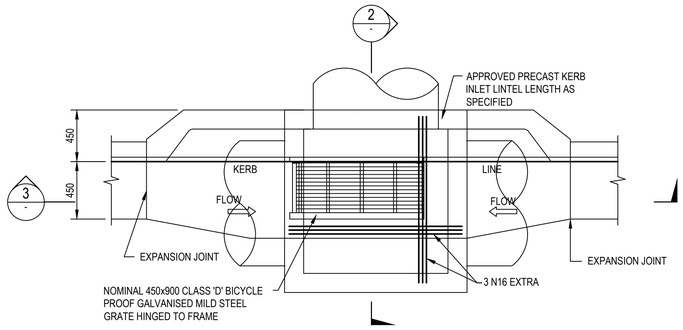
DETERMINED by the NSW Land and Housing Corporation on: 8 March 2023

DATE PLOTTED: 28 November 2022 2:01 PM BY : ROCCO LARIA



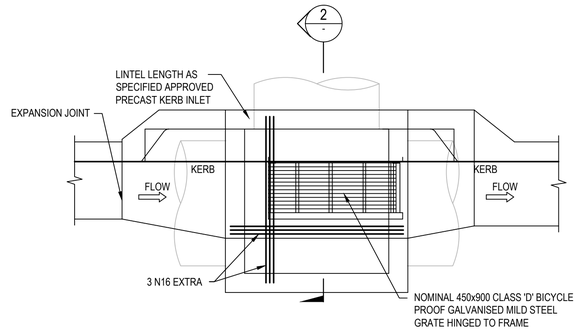
PLAN
NTS

KERB INLET PIT (KIP-A)
(CORNER)



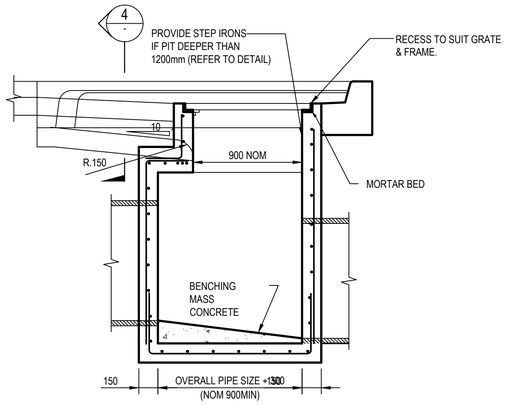
PLAN
NTS

KERB INLET PIT (KIP-B)
(SAG)

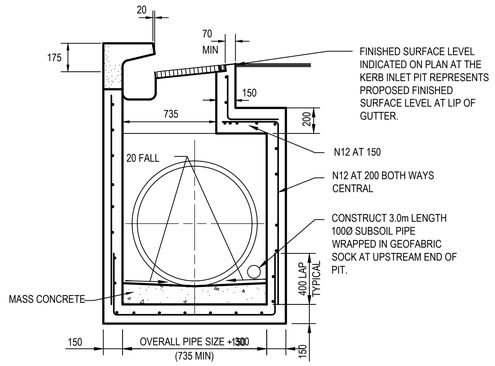


PLAN
NTS

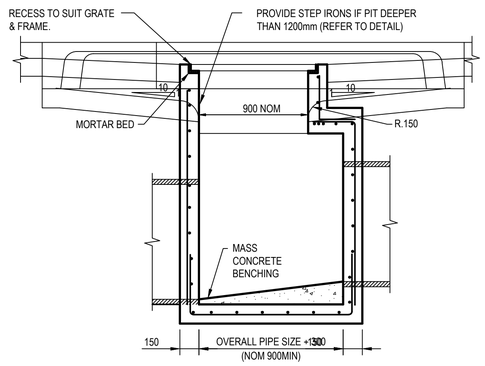
KERB INLET PIT (KIP-C)
(ON GRADE)



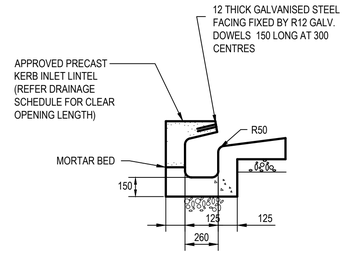
SECTION 1
SCALE 1:20



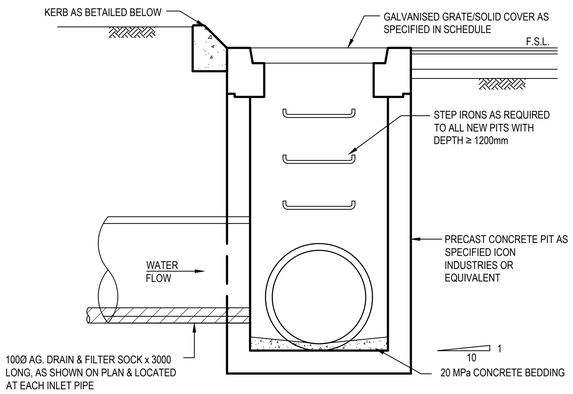
SECTION 2
SCALE 1:20



SECTION 3
SCALE 1:20



SECTION 4
SCALE 1:20



PRECAST STORMWATER PIT

TO BE INSTALLED AND BEDDED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PROVIDE GALVANISED IRON STEP IRONS EPOXIED INTO CONCRETE FOR PITS DEEPER THAN 1200mm.

0 0.5 1 1.5 2m
SCALE 1:20 @A1

Rev.	Date	Description	Des.	Verif.	Appd.
5	28/11/2022	REVISED ISSUE FOR DA APPROVAL	A.L	P.L	M.R
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Designed	K.P.	FEB' 2022
Verified	C.F.	FEB' 2022
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS

Project: PROPOSED DEVELOPMENT AT 47-49 CURRY STREET WALLSEND 2287

Title: STORMWATER DETAILS SHEET 2

Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

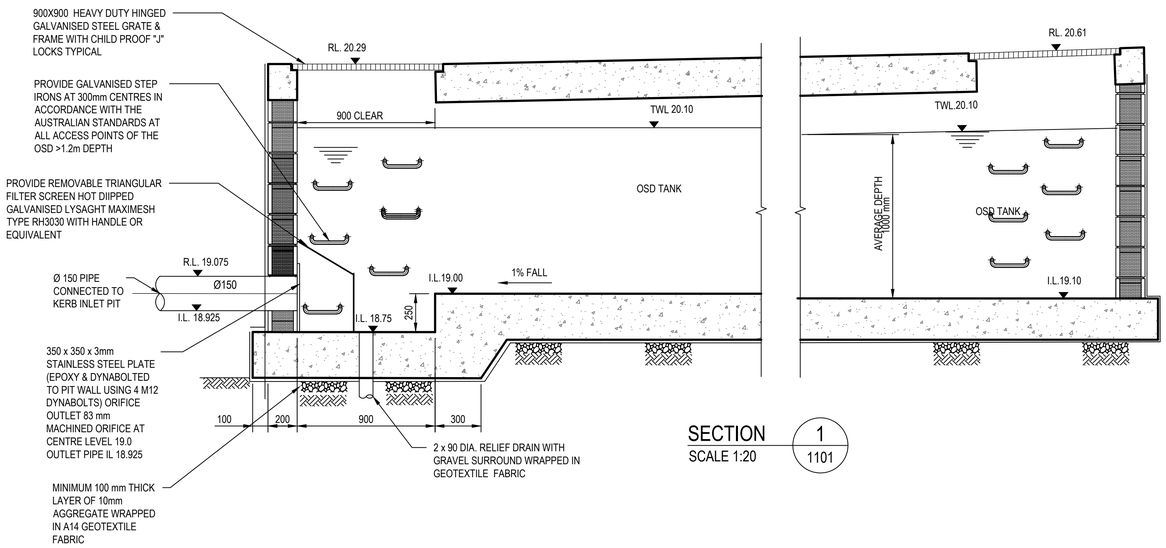
Datum: AHD | Scale: AS SHOWN | Size: A1

Drawing Number: 80822047-CI-2102 | Revision: 5

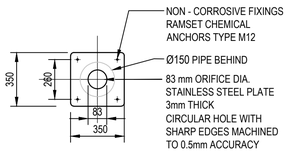
XREF's:
CAD File: \\cardno.corp\global\AU\NSW\Directory\Structure\Projects\808\FY22\047_47-49 Curry Street Wallsend\012_CIVIL\Drawings\Build\80822047-CI-2102.dwg

DETERMINED by the NSW Land and Housing Corporation on: 8 March 2023

DATE PLOTTED: 28 November 2022 2:01 PM BY : ROCCO LARIA



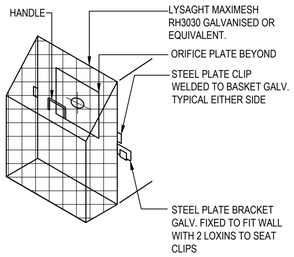
SECTION 1 / 1101
SCALE 1:20



ORIFICE DIAMETER TO BE ENGRAVED ON THE PLATE SURFACE. ORIFICE TO BE EPOXY SEALED AROUND OUTER EDGES.

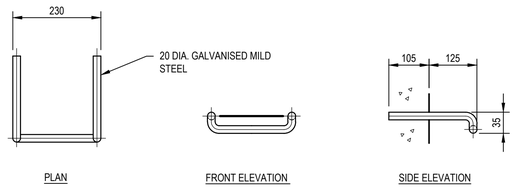
ORIFICE PLATE DETAIL

N.T.S.



TRASH SCREEN DETAIL

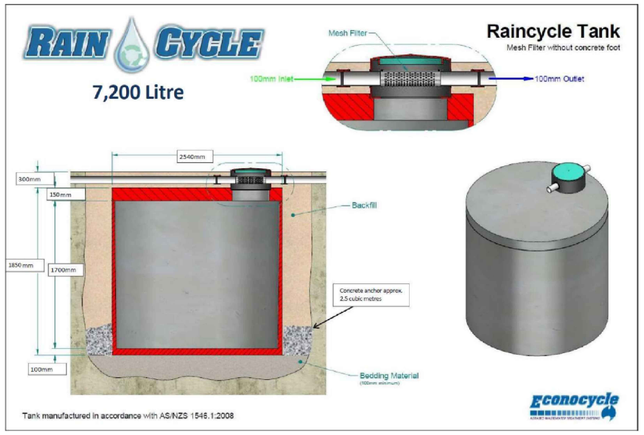
N.T.S.

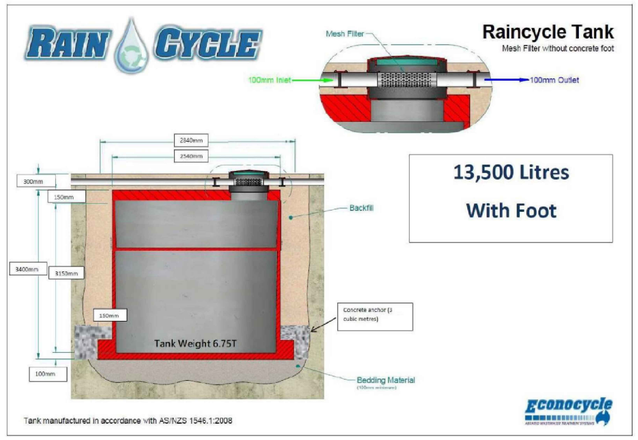


STEP IRON DETAIL

N.T.S.

0 0.5 1 1.5 2m
SCALE 1:20 @A1





OSD SYSTEM DESIGN PARAMETER

AS PER THE NEWCASTLE CITY COUNCIL SECTION 7.06 STORMWATER GUIDELINES, DCP,

SITE AREA = 1226 m^2
IMPERVIOUSNESS RATE = 68.3%
RAINFALL DEPTH = 16.7mm
OSD REQUIRED = 1226 x 0.683 x 16.7 = 13.9m^3

OSD STORAGE PROVIDED = 15.5 m3
OSD TANK DETAIL
TOP WATER LEVEL = 20.10
DEPTH OF WATER = 1.0m
TANK AREA = 15.5m3
ORIFICE DIAMETER = 83 mm

RAINWATER TANK NOTES

1. RAINWATER TANK DIMENSIONS BASED ON PRODUCT SPECIFICATIONS PROVIDED BY RAINCYCLE. APPROVED EQUIVALENT TO BE NOMINATED IN DETAILED DESIGN STAGE SUBJECT TO STRUCTURAL REQUIREMENTS, MODEL AVAILABILITY, SITE CONSTRAINTS OR CONTRACTOR'S PREFERENCE.
2. UNDERGROUND WATER TANK TO BE SITUATED AT LEAST 6m OFF EXISTING NEIGHBOURING DWELLINGS. STRUCTURAL IMPACT OF THE RAINWATER TANK PLACEMENT TOWARDS PROPOSED RESIDENTIAL BUILDING TO BE INVESTIGATED IN DETAILED DESIGN STAGE.
3. CEILING AND MANHOLE OF WATER TANK TO BE STRUCTURALLY DESIGNED UNDER TRAFFIC LOADING.
4. PROVIDE DRAWDOWN TO LOWER 50% VOLUME OF EACH RAINWATER TANK BY RETICULATION INTO EACH OF THE FOLLOWING NEW USES: SITE IRRIGATION SYSTEMS, EXTERNAL TAPS, ALL TOILETS, COLD WATER WASHING MACHINE TAPS AND LAUNDRY BASIN TAPS.
5. THE UPPER REMAINING CAPACITY OF EACH RAINWATER TANK IS TO DRAIN FROM THE TANK BY WAY OF A 5mm WEEP HOLE CONNECTED TO THE MAIN OVERFLOW PIPE FOR THE TANK.
6. MAINTAIN MINIMUM WATER DEPTH OF 100mm WITHIN ANY TANK.
7. DETAILS OF ROOF WATER HARVESTING AND RETICULATION SYSTEM TO BE PROVIDED BY HYDRAULIC ENGINEER IN DETAILED DESIGN STAGE, IN ACCORDANCE WITH AUSTRALIAN STANDARDS, BCA, NCC AND COUNCIL STORMWATER GUIDELINES.

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Verified	C.F.	FEB' 2022
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS

Project: PROPOSED DEVELOPMENT AT 47-49 CURRY STREET WALLSEND 2287

Title: STORMWATER DETAILS SHEET 3 OSD RAINWATER TANK DETAILS

Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Datum	Scale	Size
AHD	AS SHOWN	A1

Drawing Number: 80822047-CI-2103
Revision: 5

XREF's:
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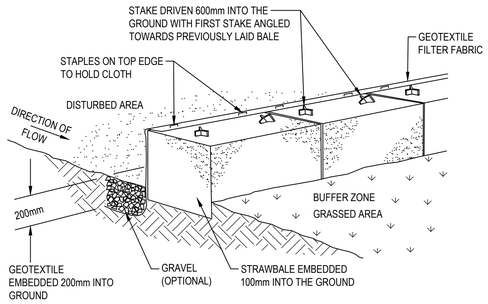
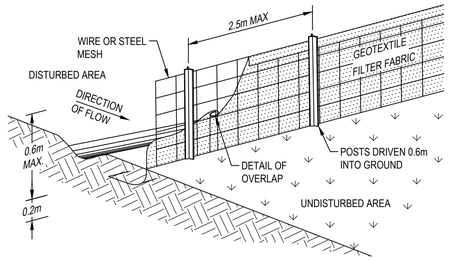
DETERMINED by the NSW Land and Housing Corporation on:
8 March 2023



STRAWBALE AND GEOTEXTILE SEDIMENT FILTER
NTS



SEDIMENT FENCE
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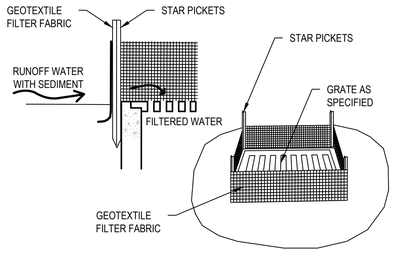
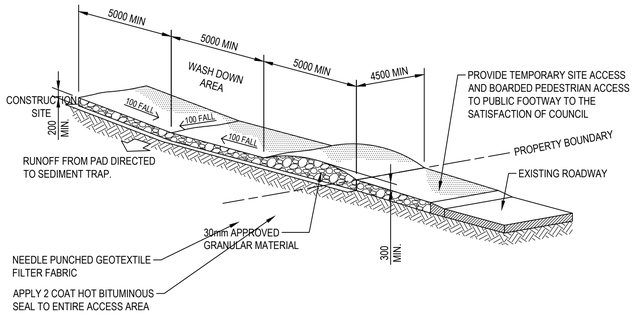
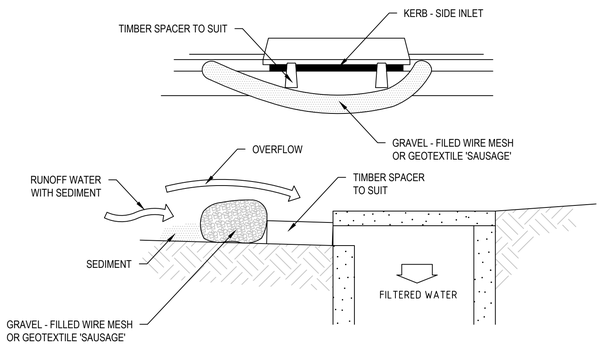


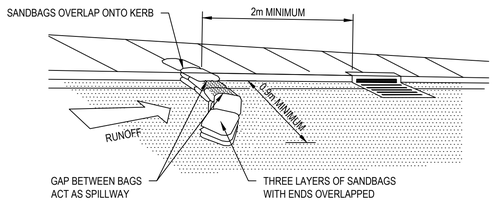
GEOTEXTILE FILTER PIT SURROUND
NTS



STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA
NTS



MESH AND GRAVEL INLET FILTER
NTS



SANDBAG SEDIMENT TRAP FOR KERB INLET ON GRADE
NTS

Rev.	Date	Description	Des.	Verif.	Appd.
5	28/11/2022	REVISED ISSUE FOR DA APPROVAL	A.L	P.L	M.R
4	1/06/2022	REVISED ISSUE	K.P.	C.F.	
3	4/04/2022	REVISED ISSUE FOR DA APPROVAL	K.P.	C.F.	
2	7/03/2022	ISSUE FOR DA APPROVAL	K.P.	C.F.	
1	10/02/2021	PRELIMINARY ISSUE	K.P.	K.P.	C.F.

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Web: www.cardno.com.au

Drawn K.P.	Date FEB' 2022	
Checked K.P.	Date FEB' 2022	
Designed K.P.	Date FEB' 2022	
Verified C.F.	Date FEB' 2022	
Approved		

Client: LAHC & SAMCRAWFORD ARCHITECTS

Project: PROPOSED DEVELOPMENT AT 47-49 CURRY STREET WALLSEND 2287

Title: SEDIMENTATION AND EROSION CONTROL DETAILS

Status: FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

Datum: AHD | Scale: AS SHOWN | Size: A1

Drawing Number: 80822047-CI-2201 | Revision: 5

DATE PLOTTED: 28 November 2022 2:01 PM BY : ROCCO LARIA
XREF's:
CAD File: \\cardno.corp\global\AU\NSW\Directory\Structure\Projects\80822047_47-49 Curry Street Wallsend\012_CIVIL\Drawings\Build\80822047-CI-2201.dwg

DETERMINED by the NSW Land and Housing Corporation on:

8 March 2023

PHOTO 1

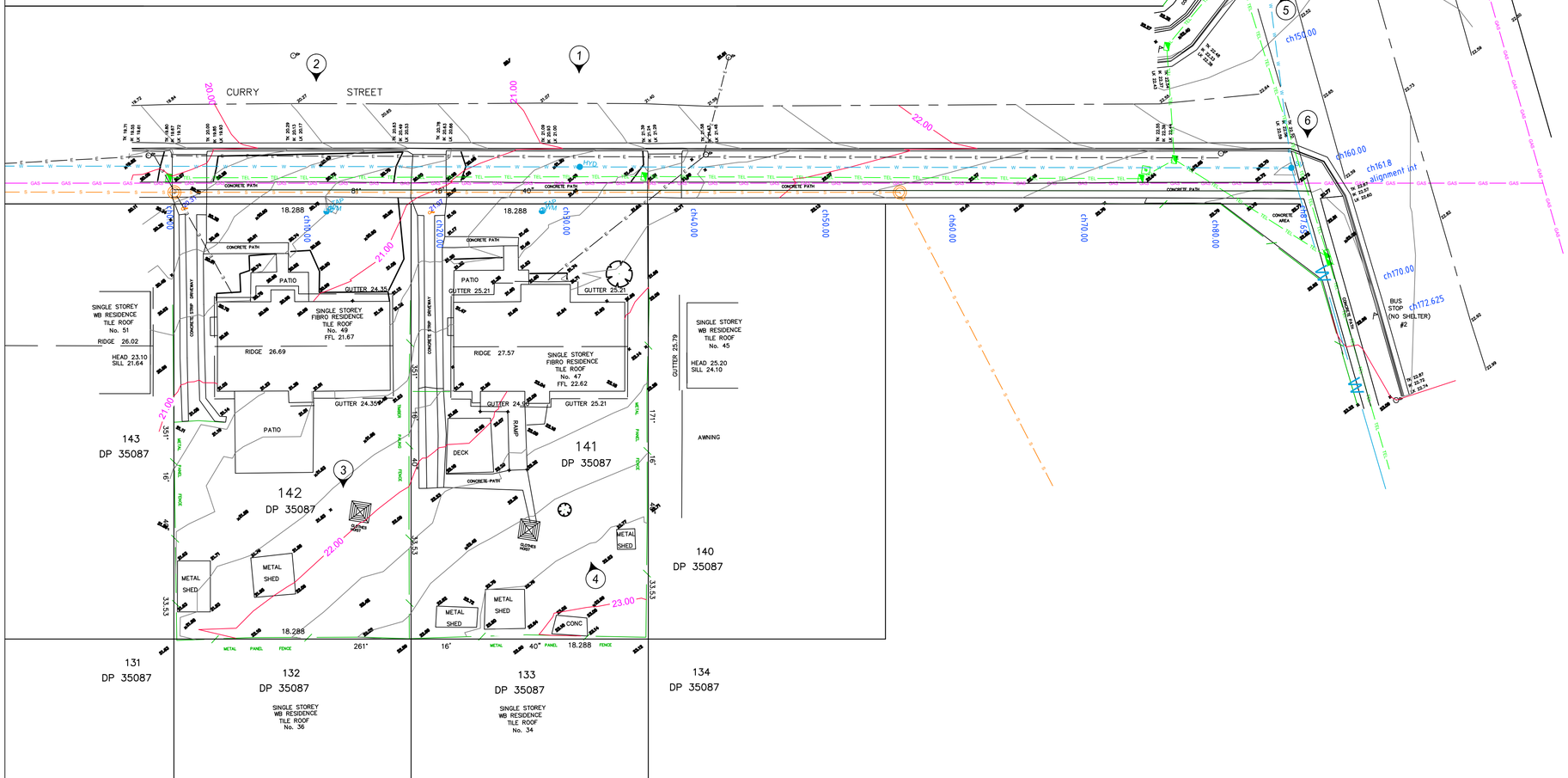
PHOTO 2

PHOTO 3

PHOTO 4

PHOTO 5

PHOTO 6



N

MGA

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6. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREA ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

7. DIMENSIONS AND AREA(S) SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

8. SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SERVICE DIAGRAMS PROVIDED BY THE RELEVANT SERVICE AUTHORITIES THROUGH **DIAL BEFORE YOU DIG** REQUEST MADE - **12/11/2018** CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

9. LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 18017 WITH RL OF 14.46m LOCATED AT WALLSEND.

10. ORIGIN OF CO-ORDINATES PM 18017 WITH MGA CO-ORDINATE VALUES OF E 376783.804 N 6359243.448

11. RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

12. ADJOINING DWELLING, BUILDING HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY.

13. CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

14. CONTOUR INTERVAL 0.25m.

No.	DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT
1	12-04-19	amend lot areas			

FILE	FILE SIZE (MB)	CHECKED BY

CONTOUR INTERVAL: 0.25m

DATUM: AHD

ORIGIN OF DATUM: PM 18017

100 YEAR FLOOD RL:

RECOMMENDED MINIMUM FLOOR RL:

SOURCE OF FLOOD INFO:

LEGEND OF COMMONLY USED SYMBOLS

WATER, SEWER, ELECTRICITY, TELECOM, GAS, DRAINAGE

BENCH MARK SURVEY CONTROL MARK PM SSM

REDUCTION RATIO 1 : 200

LAND TITLE INFORMATION

LOTS: 141, 142

PLAN NOs : DP 35087

OTHER:

AREA: Lot 141: Conversion 607m², Calculates 613m²
Lot 142: Conversion 607m², Calculates 613m²

DATE OF SURVEY: 10 / 11 /2018

SURVEY CONSULTANT:

RPS Australia East

SURVEYORS REF : 118761-276

Registered Surveyor

NSW Land & Housing Corporation

Division of the Department of Family & Community Services

DRAWING TITLE

Detail Survey

LOCATION: WALLSEND

STREET ADDRESS: 47-49 CURRY STREET

TYPE: S

SITE LAYOUT JOB

SHT. 1 OF 1

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